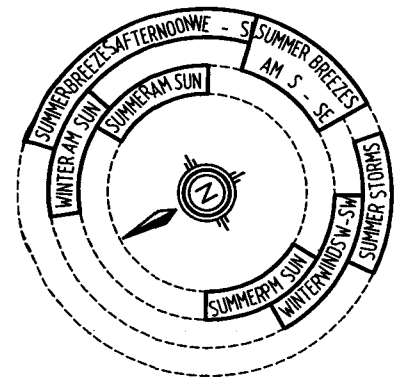
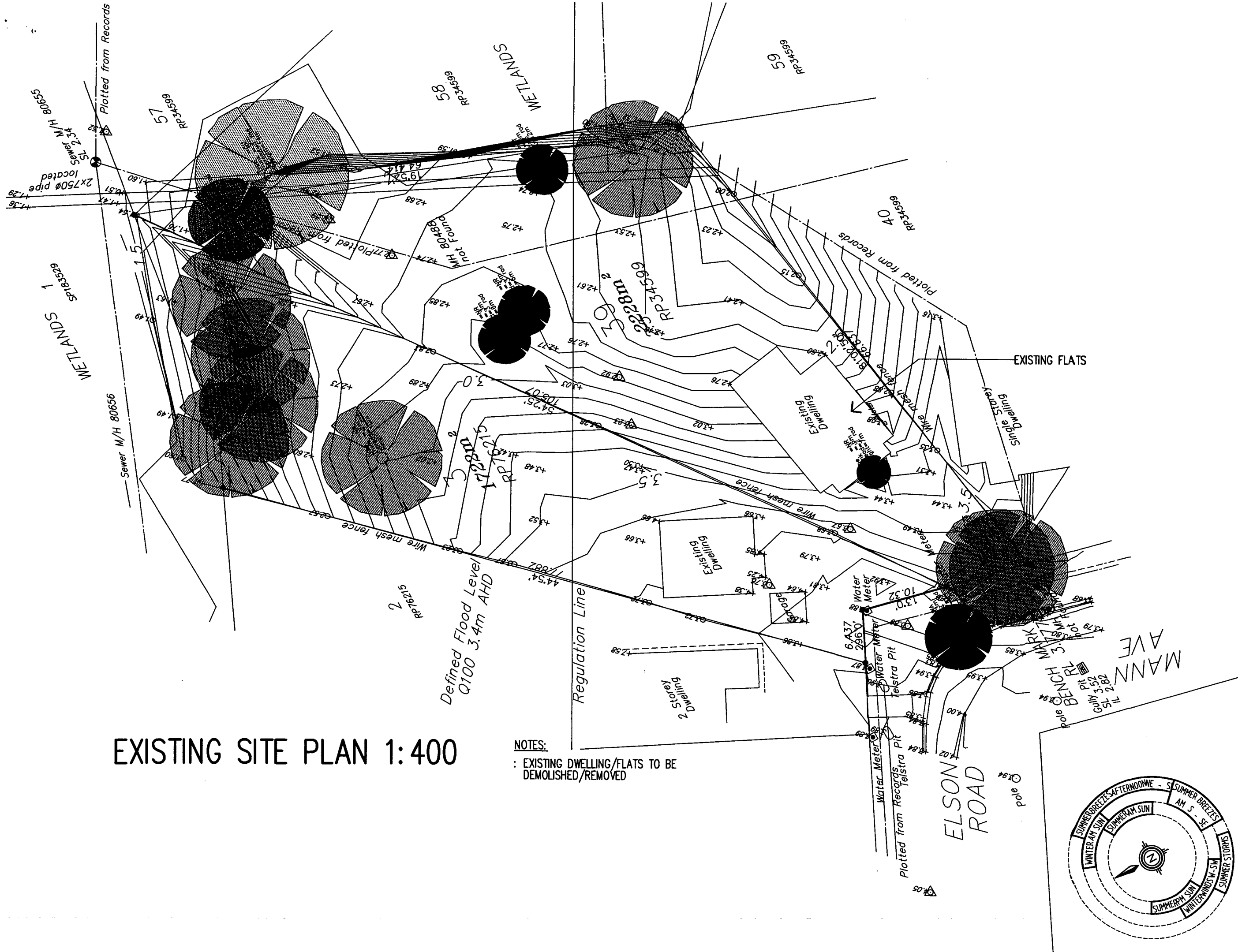


EXISTING SITE PLAN 1:400

NOTES:
 : EXISTING DWELLING/FLATS TO BE DEMOLISHED/REMOVED



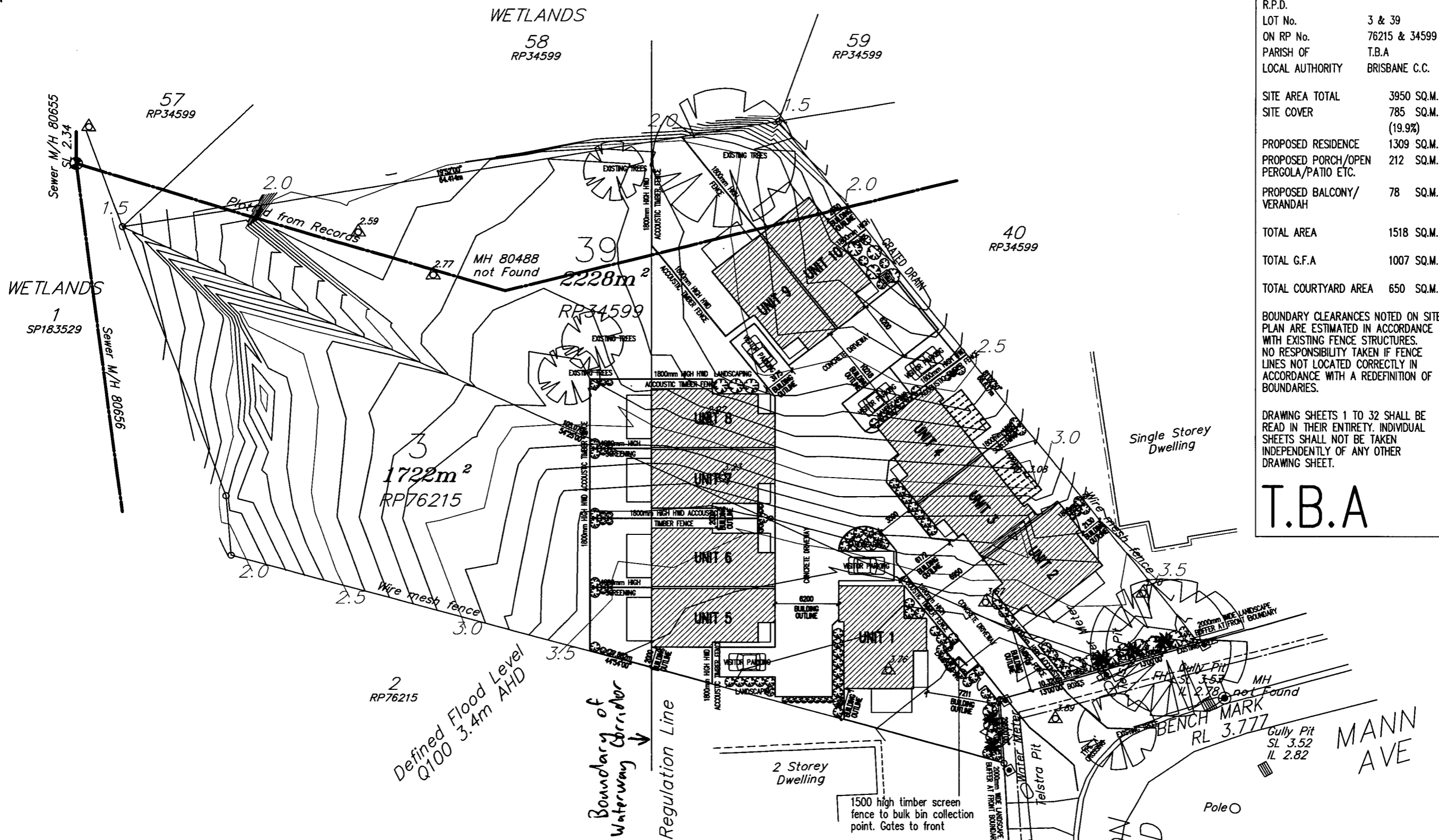
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 MASTER BUILDING DESIGNERS

DOWROYLE AND ASSOCIATES PTY LTD
 ABN 15 070 770 348
 BUILDING DESIGNERS LICENCE 1019234
 UNIT 2A / 87 WEBSTER ROAD STAFFORD
 QLD 4053

PHONE: 1 300 308 777
 FAX: 3356 4499
 WEBSITE: WWW.DOWROYLE.COM.AU
 EMAIL: VINCE@DOWROYLE.COM.AU

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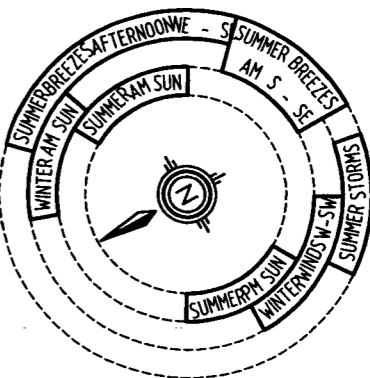
PLANS IN NAME OF:	Mr P. & Mrs I. TORNABENE	
	DESIGNED	VH
PROJECT	PROPOSED DEVELOPMENT	
	CHECKED	VH
SITE	31 MANN AVE. & 14 ELSON RD.	
	ISSUE DATE	APR'07
SCALE	1:100 (A3)	
	TYPE	TP2
PROJECT NO.	C7019	
	ISSUE	01
SHEET NO.	01	
	OF	32



**PROPOSED SITE PLAN 1:400
(SITE COVER 19.9%)**

NOTES:

- : CONTOURS AND R.L.'S AS SUPPLIED BY CLIENT FROM DETAIL AND CONTOUR PLAN BY URBAN & RURAL JOB REFERENCE No. 1566#001
- : BUILD OVER SEWER (B.O.S.) APPLICATION WILL BE REQUIRED PRIOR TO CERTIFICATION APPROVAL
- : FINISHED FLOOR LEVELS (F.F.L) ARE APPROX. ONLY AND TO BE CONFIRMED ON SITE
- : THESE PLANS ARE TO BE READ IN CONJUNCTION WITH B.C.C. DECISION NOTICE CONDITIONS NOISE REPORT THE STRUCTURAL AND HYDRAULIC ENGINEER'S WRITTEN DETAILS AND CERTIFICATION.
- : FOR PATHS, PLANTINGS AND IRRIGATION REFER TO LANDSCAPE PLAN BY OTHERS.



R.P.D. LOT No.	3 & 39
ON RP No.	76215 & 34599
PARISH OF	T.B.A
LOCAL AUTHORITY	BRISBANE C.C.
SITE AREA TOTAL	3950 SQ.M.
SITE COVER	785 SQ.M. (19.9%)
PROPOSED RESIDENCE	1309 SQ.M.
PROPOSED PORCH/OPEN PERGOLA/PATIO ETC.	212 SQ.M.
PROPOSED BALCONY/VERANDAH	78 SQ.M.
TOTAL AREA	1518 SQ.M.
TOTAL G.F.A	1007 SQ.M.
TOTAL COURTYARD AREA	650 SQ.M.
BOUNDARY CLEARANCES NOTED ON SITE PLAN ARE ESTIMATED IN ACCORDANCE WITH EXISTING FENCE STRUCTURES. NO RESPONSIBILITY TAKEN IF FENCE LINES NOT LOCATED CORRECTLY IN ACCORDANCE WITH A REDEFINITION OF BOUNDARIES.	
DRAWING SHEETS 1 TO 32 SHALL BE READ IN THEIR ENTIRETY. INDIVIDUAL SHEETS SHALL NOT BE TAKEN INDEPENDENTLY OF ANY OTHER DRAWING SHEET.	
T.B.A	

PLANS IN NAME OF: **Mr P. & Mrs I. TORNABENE**
 PROJECT: **PROPOSED DEVELOPMENT**
 AUTHOR: **NE** DESIGNED: **VH** CHECKED: **VH**

SCALE: **1:400 (A3)**
 TYPE: **TP2**
 ISSUE: **02** OF **32**

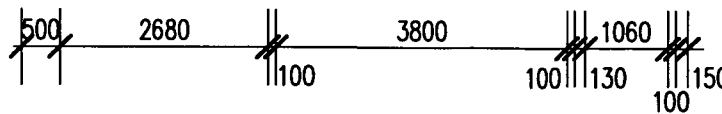
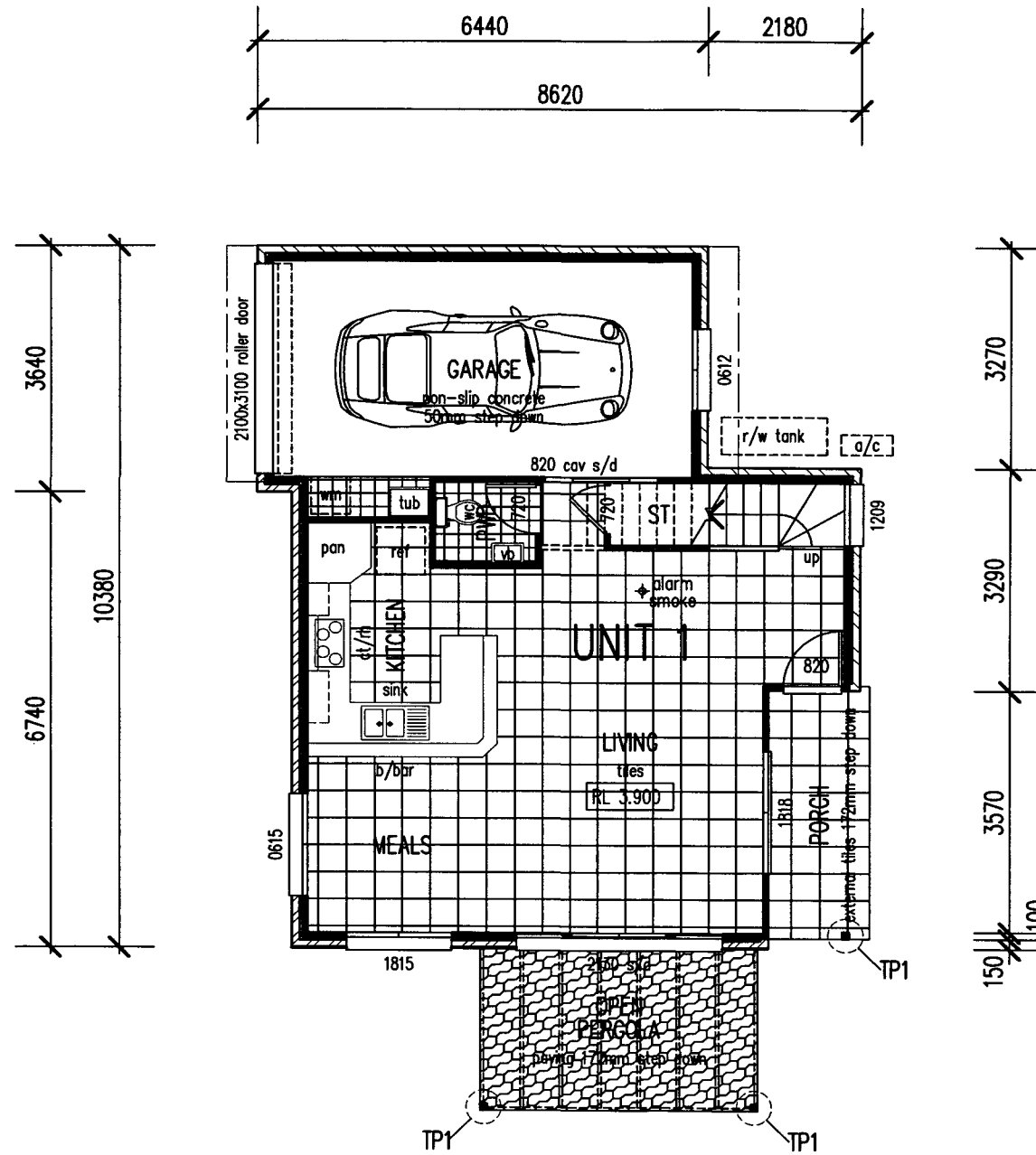
SITE: **31 MANN AVE. & 14 ELSON RD.**
 PROJECT NO.: **C7019**
 ISSUE DATE: **APR'07**

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 DOW ROYLE AND ASSOCIATES PTY LTD
 ABN 15 070 770 348
 BUILDING DESIGNERS LICENCE 1019234
 UNIT 2A / 87 WEBSTER ROAD STAFFORD QLD 4053
 PHONE: 1 300 308 777
 FAX: 07 464 4599
 WEBSITE: WWW.DOWROYLE.COM.AU
 EMAIL: VINGE@DOWROYLE.COM.AU
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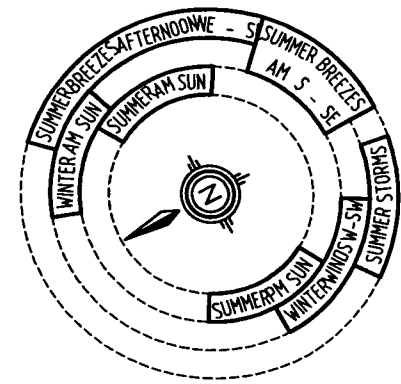
: SMOKE ALARMS TO BE WIRED TO MAINS POWER AND TO COMPLY WITH AS 3786, PART 3.7.2. OF THE B.C.A.

TP1 - 100x100 HWD TIMBER POST



PROPOSED GROUND FLOOR PLAN 1:100

FLOOR AREA 74 SQ.M
OPEN PERGOLA/PORCH AREA 15 SQ.M



UNIT 1

SITE 31 MANN AVE. & 14 ELSON RD.	SCALE 1:100 (A3)	SHEET NO. 03
	TYPE TP2	ISSUE DF
ISSUE DATE APR'07	PROJECT NO. C7019	

PLANS IN NAME OF : Mr P. & Mrs I. TORNABENE	PROJECT PROPOSED DEVELOPMENT
AUTHOR NE	DESIGNED VH

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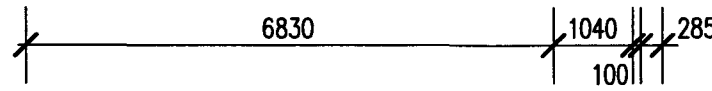
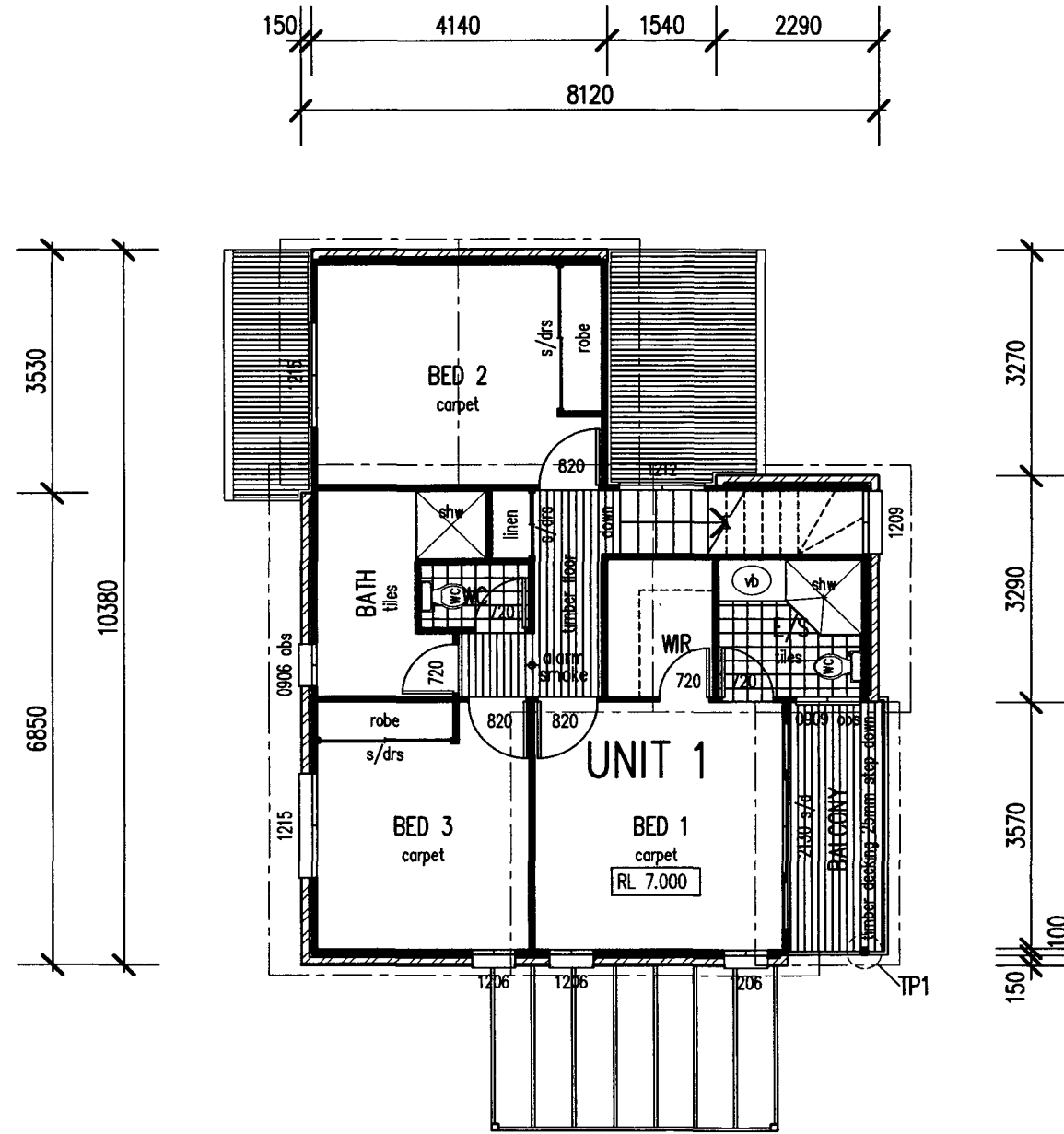
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BUILDING DESIGNERS LICENCE 1019234
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QLD 4053

PHONE: 1 300 308 777
FAX: 3356 4499
WEBSITE: WWW.DOWROYLE.COM.AU
EMAIL: VINCE@DOWROYLE.COM.AU

NOTES:

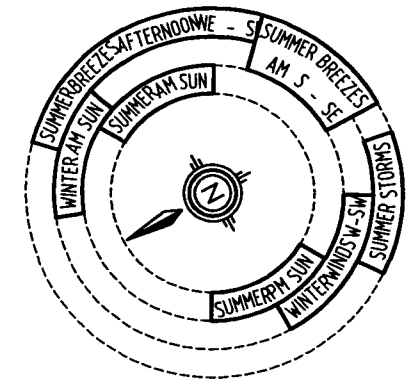
: SMOKE ALARMS TO BE WIRED TO MAINS POWER AND TO COMPLY WITH AS 3786, PART 3.7.2. OF THE B.C.A.

TP1 - 100x100 HWD TIMBER POST



PROPOSED FIRST FLOOR PLAN 1:100

FLOOR AREA 66 SQ.M
BALCONY AREA 5 SQ.M



UNIT 1

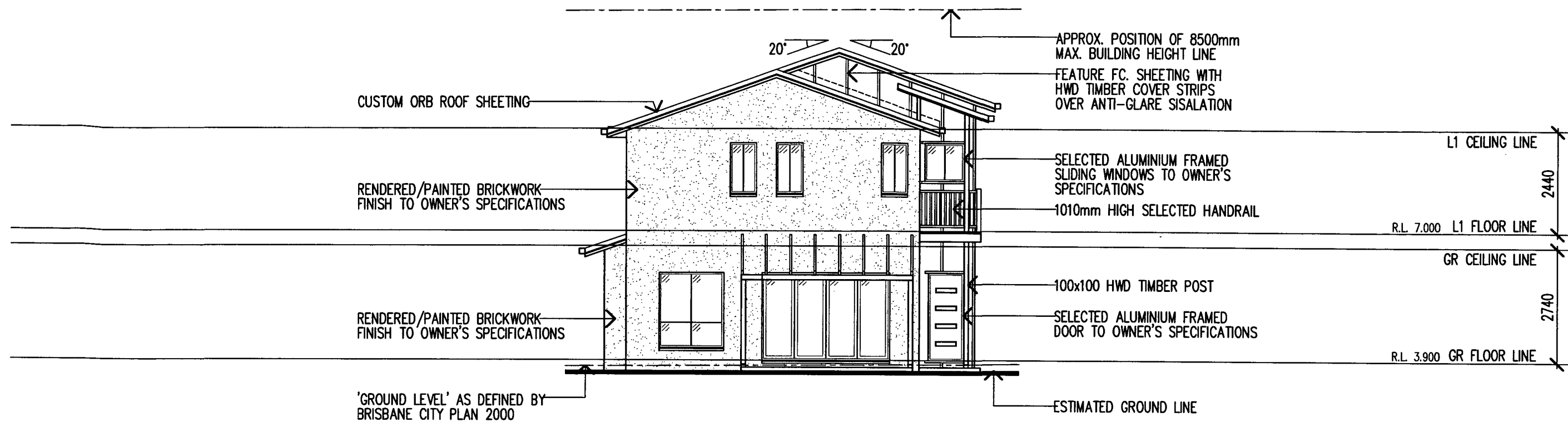
SITE	31 MANN AVE. & 14 ELSON RD.		SCALE	1:100 (A3)
	ISSUE DATE	APR'07	TYPE	TP2
PLANS IN NAME OF:	Mr P. & Mrs I. TORNABENE		PROJECT NO.	C7019
	AUTHOR	NE	DESIGNED	VH
	CHECKED	VH	PROJECT	PROPOSED DEVELOPMENT
			ISSUE	04 OF 32

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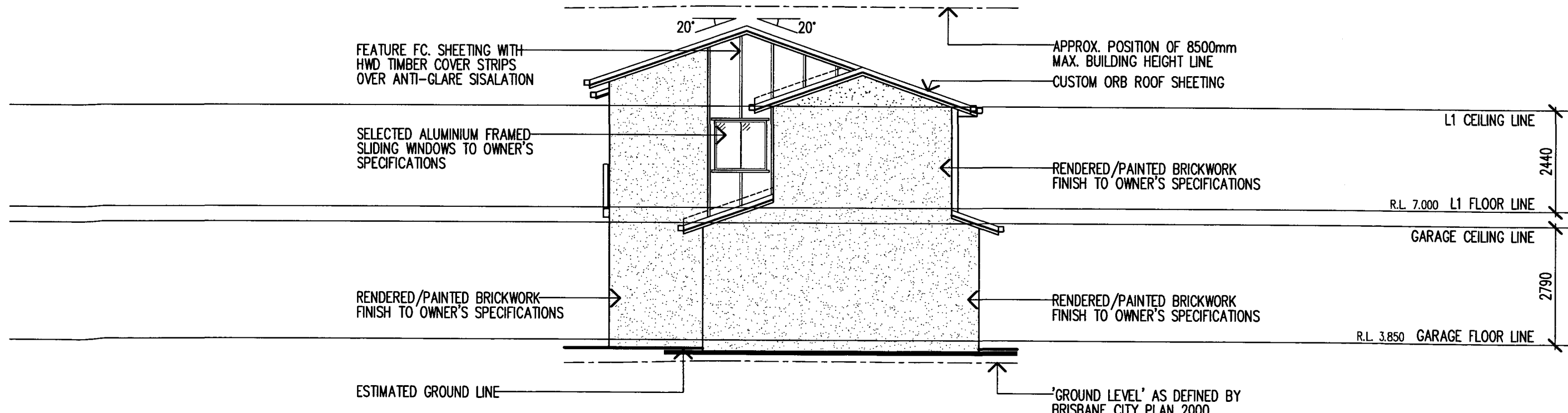
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QLD 4053

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PROPOSED FRONT ELEVATION 1:100



PROPOSED REAR ELEVATION 1:100

SCALE	1:100 (A3)	
	TYPE	TP2
SHEET NO.	TP2	05
	ISSUE	DF
SITE	31 MANN AVE. & 14 ELSON RD.	
	PROJECT NO.	C7019
ISSUE DATE	APR'07	
PLANS IN NAME OF:	Mr P. & Mrs I. TORNABENE	
	AUTHOR	NE
DESIGNED	VH	
CHECKED	VH	
PROJECT	PROPOSED DEVELOPMENT	

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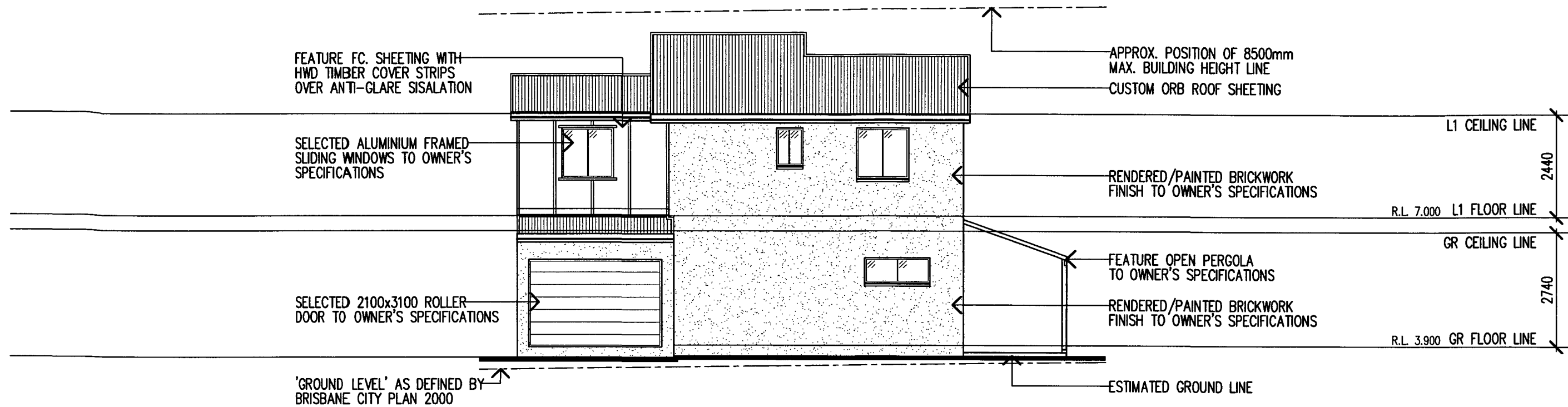
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FAX: 3356 4499
WEBSITE: WWW.DOWROYLE.COM.AU
EMAIL: VINCE@DOWROYLE.COM.AU

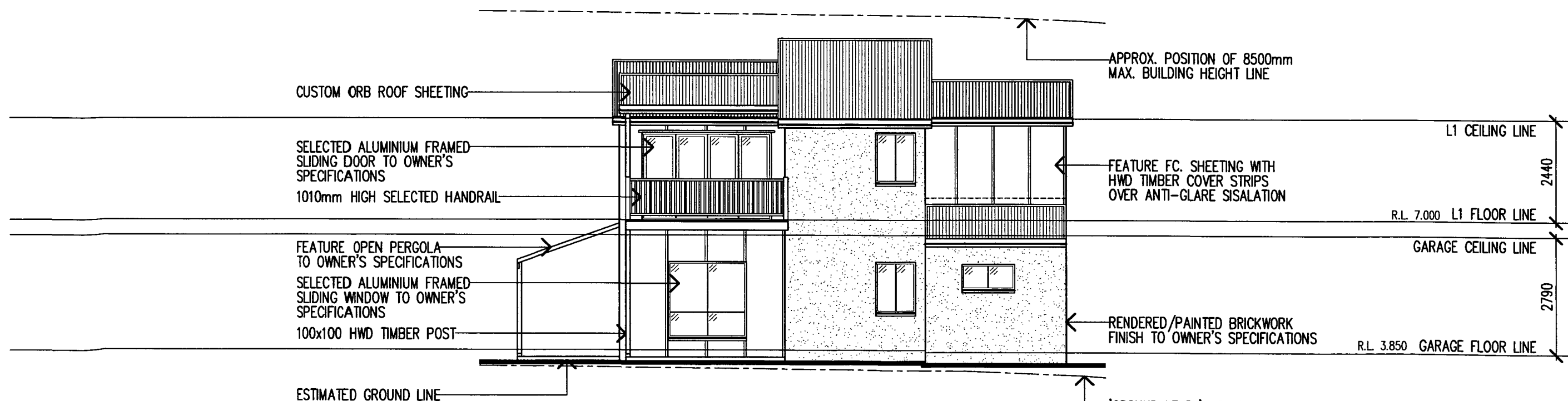
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ABN 15 070 770 348
BUILDING DESIGNERS LICENCE 1019234
UNIT 2A / 87 WEBSTER ROAD STAFFORD
QLD 4053

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UNIT 1



PROPOSED SIDE ELEVATION 1:100



PROPOSED SIDE ELEVATION 1:100

SCALE 1:100 (A3)	SHEET NO.	06
	OF	32
TYPE TP2	PROJECT NO.	C7019
	ISSUE	
SITE 31 MANN AVE. & 14 ELSON RD.	ISSUE DATE	APR'07
	PROJECT	PROPOSED DEVELOPMENT
PLANS IN NAME OF: Mr P. & Mrs I. TORNABENE	AUTHOR	NE
	DESIGNED	VH
	CHECKED	VH
	PROJECT	PROPOSED DEVELOPMENT

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QLD 4053

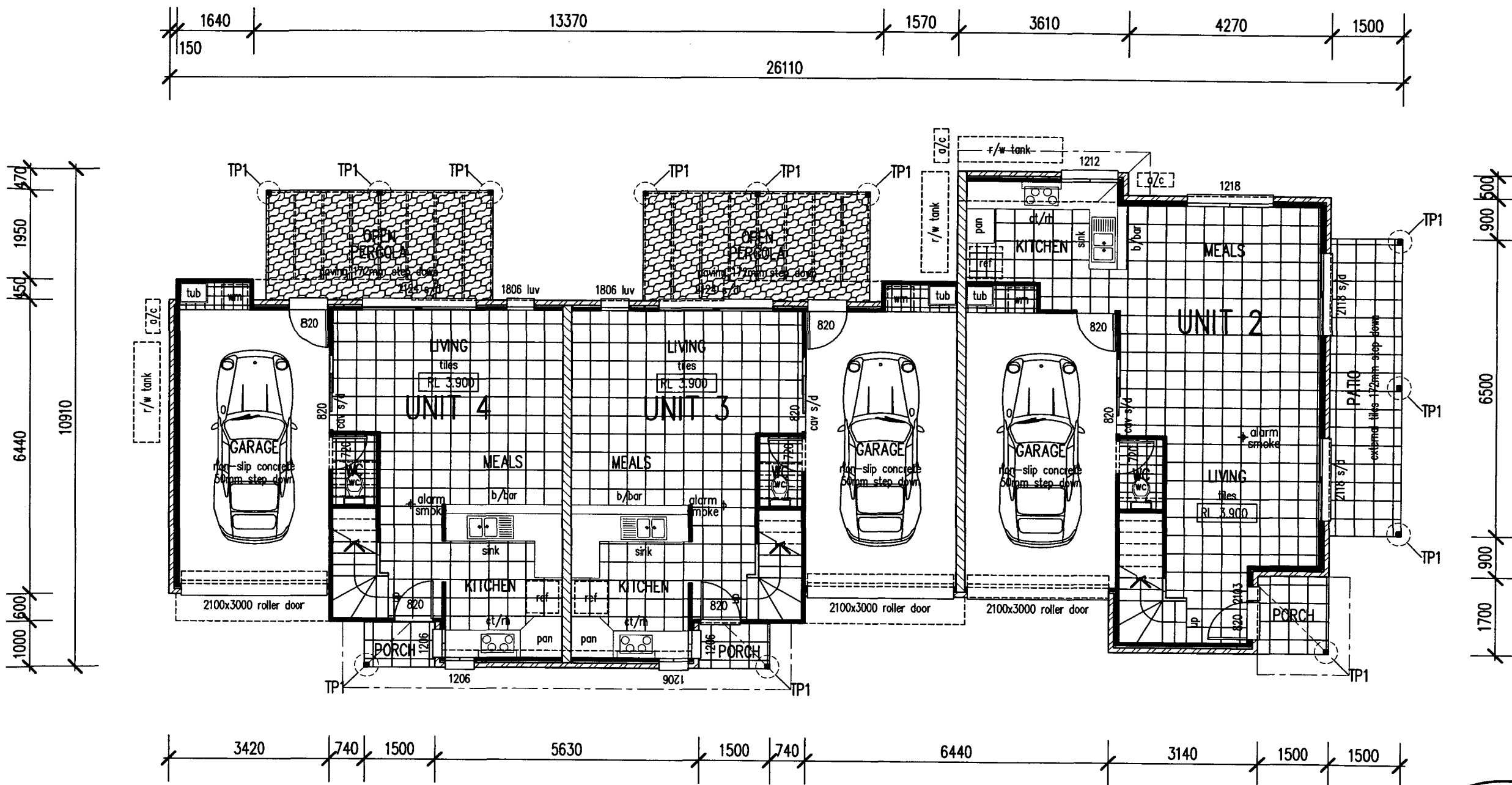
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FAX: 3356 4499
WEBSITE: WWW.DOWROYLE.COM.AU
EMAIL: VINGE@DOWROYLE.COM.AU

UNIT 1

NOTES:

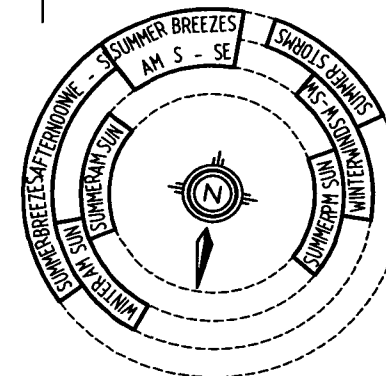
: SMOKE ALARMS TO BE WIRED TO MAINS POWER AND TO COMPLY WITH AS 3786, PART 3.7.2. OF THE B.C.A.

TP1 - 100x100 HWD TIMBER POST



PROPOSED GROUND FLOOR PLAN 1:100

FLOOR AREA 195 SQ.M
PORCH/OPEN PERGOLA AREA 41 SQ.M



UNITS 2, 3 & 4

SITE 31 MANN AVE. & 14 ELSON RD.	SCALE	1:100 (A3)	SHEET NO.	
	TYPE	TP2	ISSUE	07
	PROJECT NO.	C7019	DATE	APR'07

PLANS IN NAME OF: Mr P. & Mrs I. TORNABENE	CHECKED		PROJECT	PROPOSED DEVELOPMENT
	DESIGNED	VH	AUTHOR	NE
	DESIGNED	VH	AUTHOR	NE

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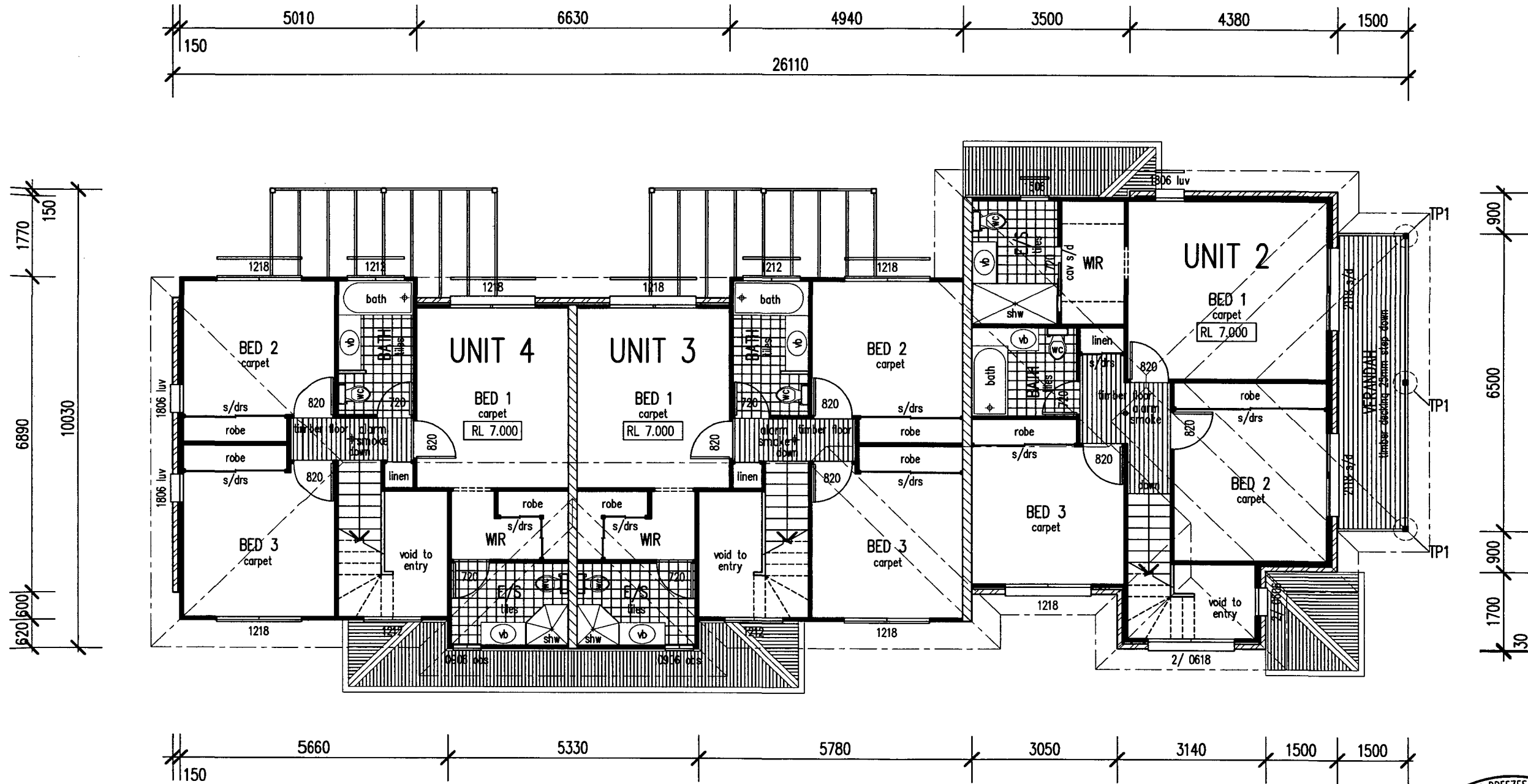
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DOWROYLE AND ASSOCIATES PTY LTD
 A/N 15 070 770 348
 PHONE: 1 300 308 777
 FAX: 3356 4499
 WWW.DOWROYLE.COM.AU
 UNIT 2A / 87 WEBSTER ROAD STAFFORD QLD 4053
 EMAIL: VINCE@DOWROYLE.COM.AU

NOTES:

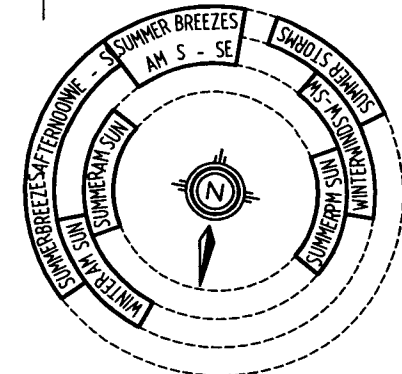
: SMOKE ALARMS TO BE WIRED TO MAINS POWER AND TO COMPLY WITH AS 3786, PART 3.7.2. OF THE B.C.A.

TP1 - 100x100 HWD TIMBER POST



PROPOSED FIRST FLOOR PLAN 1:100

FLOOR AREA 197 SQ.M
VERANDAH AREA 10 SQ.M



UNITS 2, 3 & 4

SITE	31 MANN AVE. & 14 ELSON RD.	PROJECT NO.	C7019
	ISSUE DATE	APR'07	ISSUE
	SCALE	1:100 (A3)	SHEET NO.
		TYPE	TP2
		OF	08
		ISSUE	32

PLANS IN NAME OF:	Mr P. & Mrs I. TORNABENE	PROJECT	PROPOSED DEVELOPMENT
	AUTHOR	DESIGNED	CHECKED
	NE	VH	VH

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BUILDING DESIGNERS LICENCE 1019234
UNIT 2A / 87 WEBSTER ROAD STAFFORD
QLD 4053

PHONE: 1300 308 777
FAX: 3356 4499
WEBSITE: WWW.DDWROYLE.COM.AU
EMAIL: VINCE@DDWROYLE.COM.AU

APPROX. POSITION OF 8500mm
MAX. BUILDING HEIGHT LINE

20°

CUSTOM ORB ROOF SHEETING

SELECTED ALUMINIUM FRAMED
SLIDING WINDOWS TO OWNER'S
SPECIFICATIONS

FEATURE FC. SHEETING WITH
HWD TIMBER COVER STRIPS
OVER ANTI-GLARE SISALATION

SELECTED 2100x3000 ROLLER
DOOR TO OWNER'S SPECIFICATIONS

ESTIMATED GROUND LINE
'GROUND LEVEL' AS DEFINED BY
BRISBANE CITY PLAN 2000



L1 CEILING LINE
2440
R.L. 7.000 L1 FLOOR LINE
GR CEILING LINE
2740
R.L. 3.900 GR FLOOR LINE

PROPOSED FRONT ELEVATION 1:100

APPROX. POSITION OF 8500mm
MAX. BUILDING HEIGHT LINE

20°

100x100 HWD TIMBER POST
HWD TIMBER PRIVACY SCREENS
TO OWNER'S SPECIFICATIONS

RENDERED/PAINTED BRICKWORK
FINISH TO OWNER'S SPECIFICATIONS
SELECTED ALUMINIUM FRAMED
SLIDING DOOR TO OWNER'S
SPECIFICATIONS

ESTIMATED GROUND LINE
'GROUND LEVEL' AS DEFINED BY
BRISBANE CITY PLAN 2000

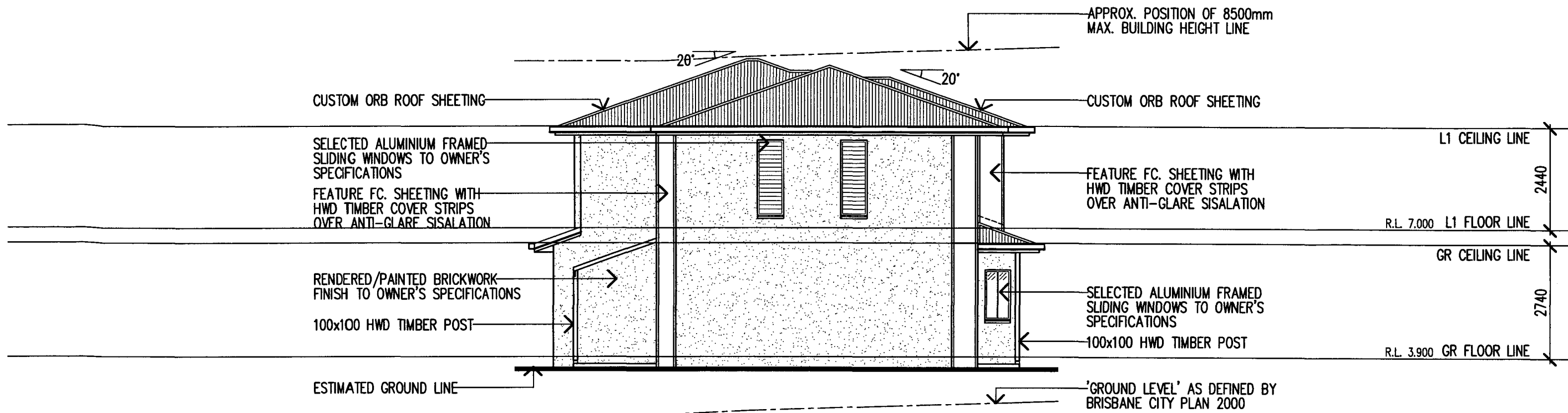


L1 CEILING LINE
2440
R.L. 7.000 L1 FLOOR LINE
GR CEILING LINE
2740
R.L. 3.900 GR FLOOR LINE

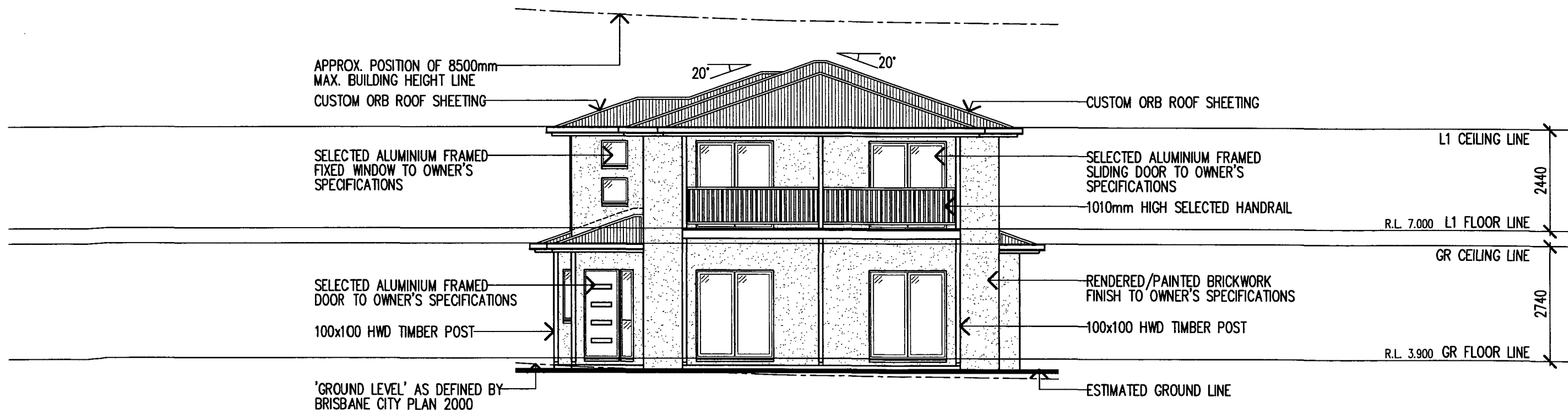
PROPOSED REAR ELEVATION 1:100

UNITS 2, 3 & 4

PLANS IN NAME OF: **Mr P. & Mrs I. TORNABENE**
 SITE: **31 MANN AVE. & 14 ELSON RD.**
 SCALE: **1:100 (A3)**
 TYPE: **TP2**
 SHEET NO.: **09**
 ISSUE: **01**
 PROJECT NO.: **C7019**
 ISSUE DATE: **APR'07**
 PROJECT: **PROPOSED DEVELOPMENT**
 CHECKED: **VH**
 DESIGNED: **VH**
 AUTHOR: **NE**
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 BUILDING DESIGNERS LICENCE 1019234
 UNIT 2A / B7 WEBSTER ROAD STAFFORD
 QLD 4053



PROPOSED SIDE ELEVATION 1:100



PROPOSED SIDE ELEVATION 1:100

UNITS 2, 3 & 4

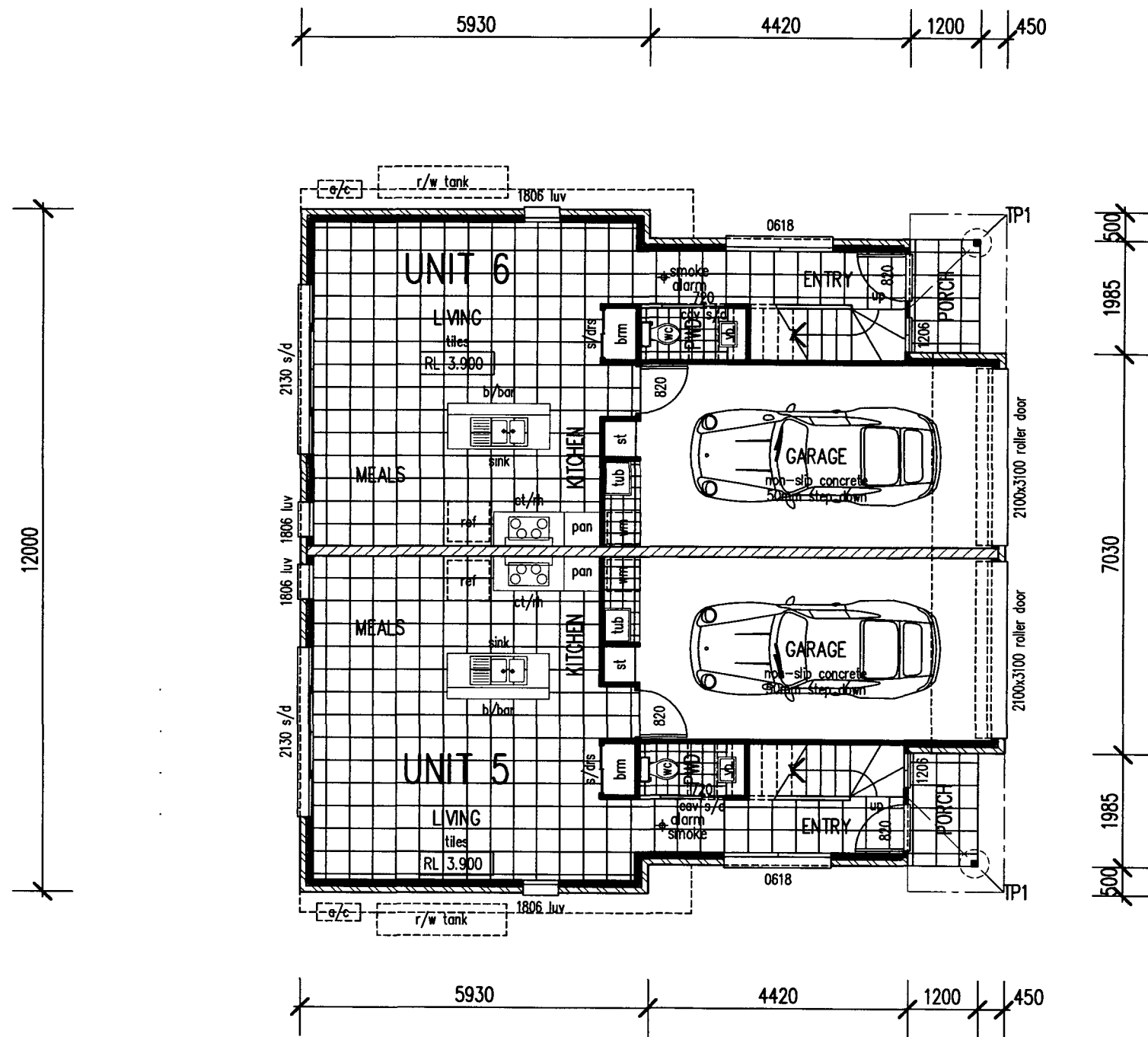
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	TYPE		TP2
PROJECT NO.	C7019	ISSUE	DF
	ISSUE DATE		APR'07
SITE		31 MANN AVE. & 14 ELSON RD.	
PLANS IN NAME OF:		Mr P. & Mrs I. TORNABENE	
AUTHOR	DESIGNED	CHECKED	PROJECT
NE	VH	VH	PROPOSED DEVELOPMENT

DOW ROYLE AND ASSOCIATES PTY LTD
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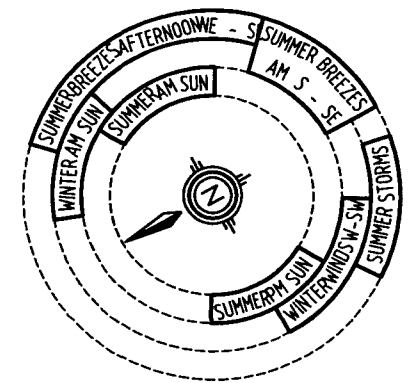
: SMOKE ALARMS TO BE WIRED TO MAINS
POWER AND TO COMPLY WITH AS 3786,
PART 3.7.2. OF THE B.C.A.

TP1 - 100x100 HWD TIMBER POST



PROPOSED GROUND FLOOR PLAN 1:100

FLOOR AREA 131 SQ.M
PORCH/PATIO AREA 26 SQ.M



UNITS 5 & 6

SITE 31 MANN AVE. & 14 ELSON RD.	SCALE 1:100 (A3)	SHEET NO. 11
	PROJECT NO. C7019	ISSUE TP2
ISSUE DATE APR'07	PROJECT NO. C7019	ISSUE OF 32

PLANS IN NAME OF: Mr P. & Mrs I. TORNABENE	PROJECT PROPOSED DEVELOPMENT	CHECKED VH
		DESIGNED VH
AUTHOR NE	CHECKED VH	DESIGNED VH

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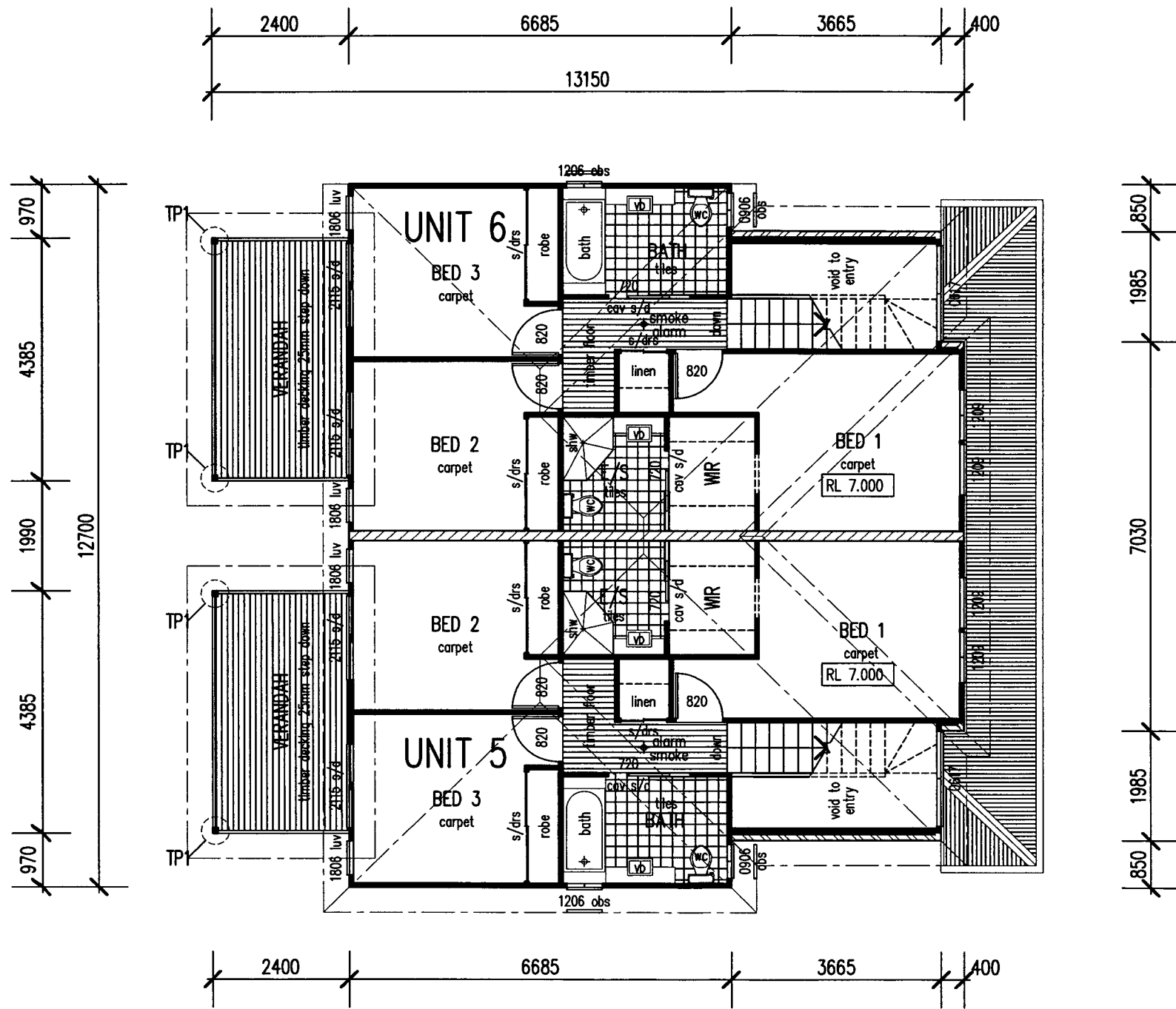
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FAX: 3356 4499
WEBSITE: WWW.DOWROYLE.COM.AU
EMAIL: VINCE@DOWROYLE.COM.AU

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ABN 15 070 770 348
BUILDING DESIGNERS LICENCE 1019234
UNIT 2A/187 WEBSTER ROAD STAFFORD
QLD 4053

NOTES:

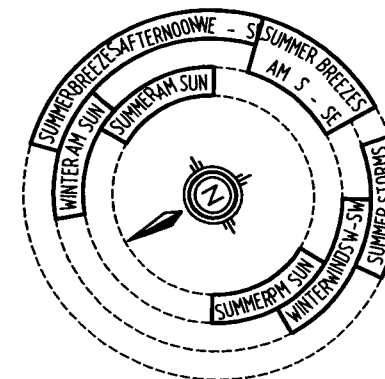
: SMOKE ALARMS TO BE WIRED TO MAINS POWER AND TO COMPLY WITH AS 3786, PART 3.7.2. OF THE B.C.A.

TP1 - 100x100 HWD TIMBER POST



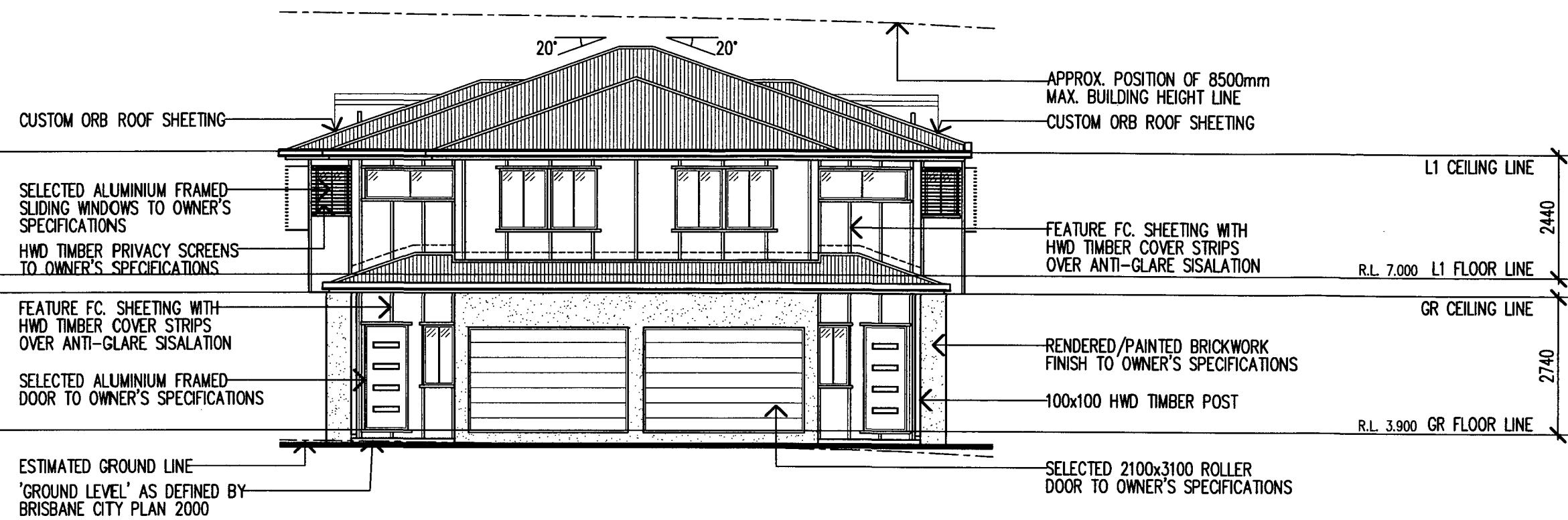
PROPOSED FIRST FLOOR PLAN 1:100

FLOOR AREA 128 SQ.M
VERANDAH AREA 21 SQ.M



UNITS 5 & 6

<p>PLANS IN NAME OF: Mr P. & Mrs I. TORNABENE</p>	<p>DESIGNED VH</p>	<p>CHECKED VH</p>	<p>PROJECT PROPOSED DEVELOPMENT</p>
	<p>AUTHOR NE</p>	<p>DESIGNED VH</p>	<p>CHECKED VH</p>
<p>SITE 31 MANN AVE. & 14 ELSON RD.</p>	<p>ISSUE DATE APR'07</p>	<p>PROJECT NO. C7019</p>	<p>SCALE 1:100 (A3)</p>
<p>PHONE: 1 300 308 7777 FAX: 3356 4499 WEBSITE: WWW.DOWROYLE.COM.AU EMAIL: VINGE@DOWROYLE.COM.AU</p>	<p>USE FIGURED DIMENSIONS. DO NOT SCALE. CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION OR SET OUT. copyright ©</p>	<p>TYPE TP2</p>	<p>SHEET NO. 12</p>
<p>DOWROYLE AND ASSOCIATES PTY LTD ABN 15 070 770 348 BUILDING DESIGNERS LICENCE 1019234 UNIT 2A / 87 WEBSTER ROAD STAFFORD QLD 4053</p>	<p>ISSUE</p>	<p>OF</p>	<p>32</p>



PROPOSED FRONT ELEVATION 1:100



PROPOSED REAR ELEVATION 1:100

UNITS 5 & 6

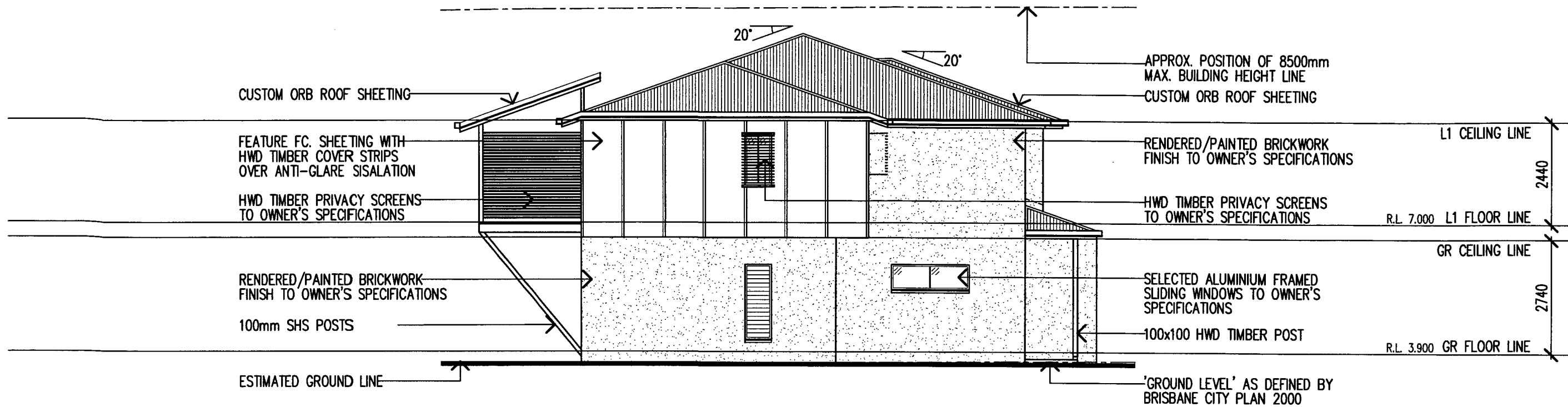
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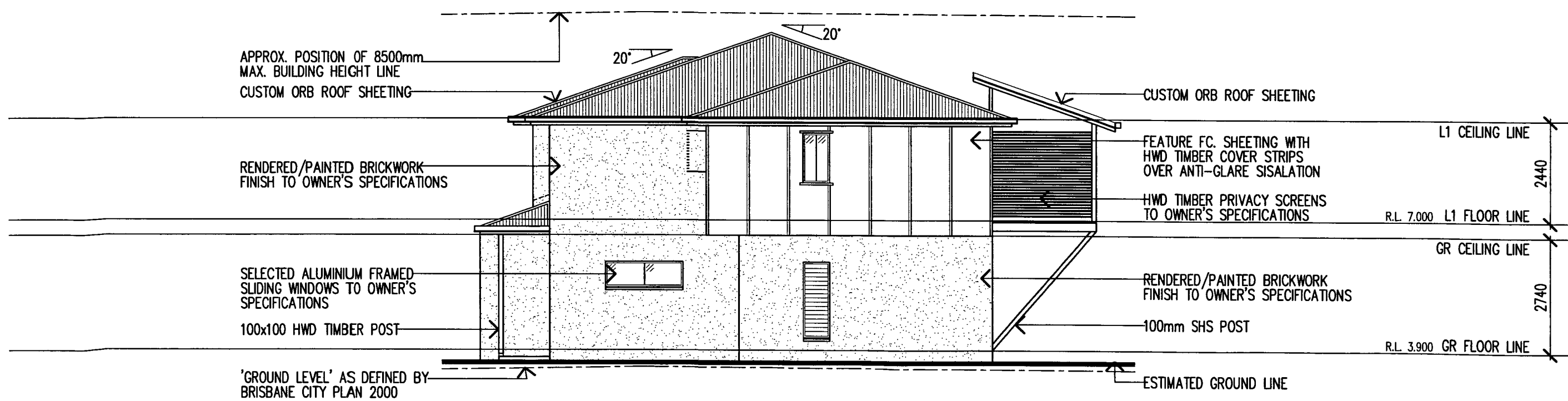
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ABN 15 070 770 348
BUILDING DESIGNERS LICENCE 1019234
UNIT 2A / B7 WEBSTER ROAD STAFFORD
QLD 4053

PHONE: 1 300 308 777
FAX: 3356 4499
WEBSITE: WWW.DOWROYLE.COM.AU
EMAIL: VINCE@DOWROYLE.COM.AU



PROPOSED SIDE ELEVATION 1:100



PROPOSED SIDE ELEVATION 1:100

SCALE	1:100 (A3)
TYPE	TP2
ISSUE	DF
SHEET NO.	14
OF	32

SITE	31 MANN AVE. & 14 ELSON RD.
PROJECT NO.	C7019
ISSUE DATE	APR'07

PLANS IN NAME OF:	Mr P. & Mrs I. TORNABENE
AUTHOR	NE
DESIGNED	VH
CHECKED	VH
PROJECT	PROPOSED DEVELOPMENT

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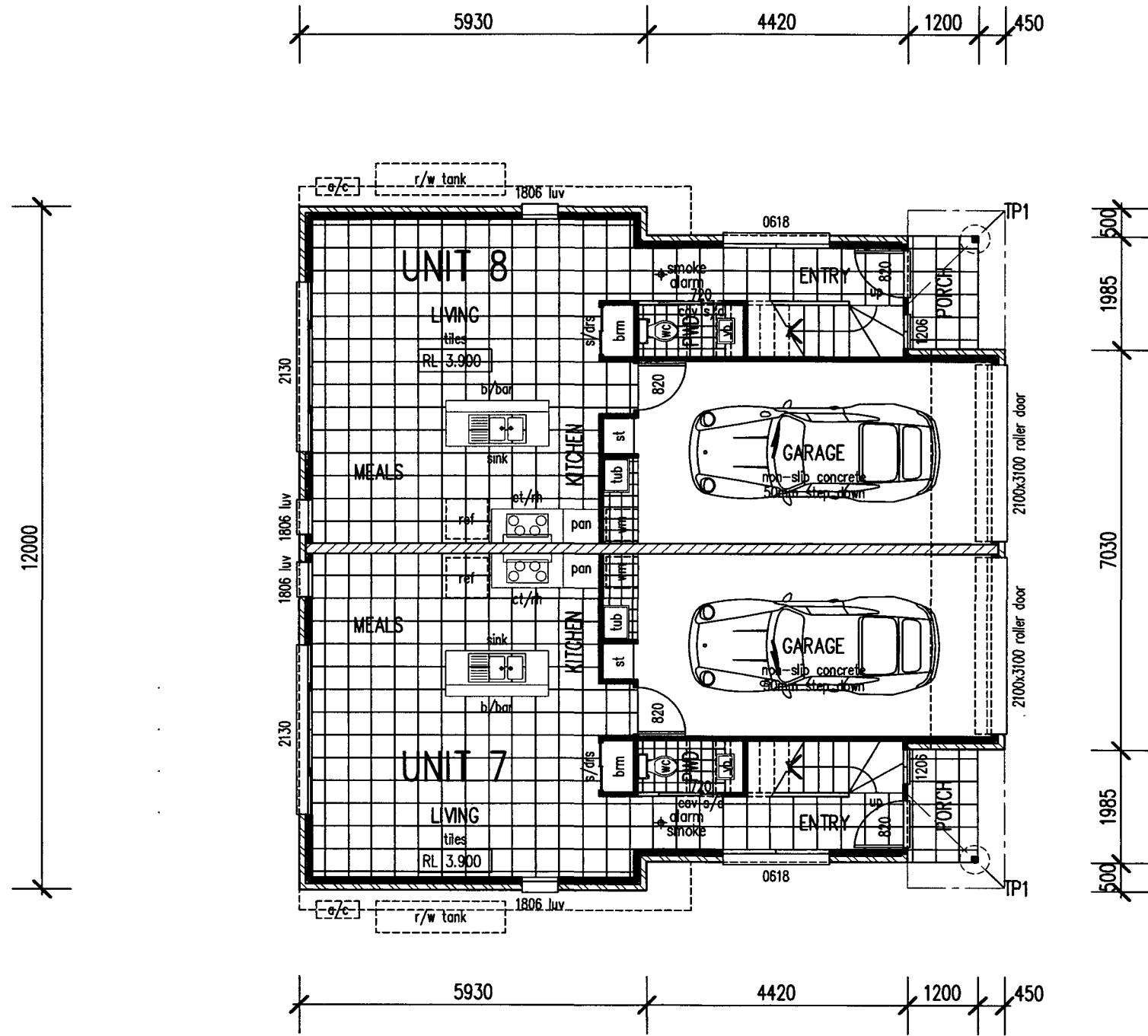
DOWROYLE AND ASSOCIATES PTY LTD
 ABN 15 070 770 348
 BUILDING DESIGNERS LICENCE 1019234
 UNIT 2A / 87 WEBSTER ROAD STAFFORD
 QLD 4053

UNITS 5 & 6

NOTES:

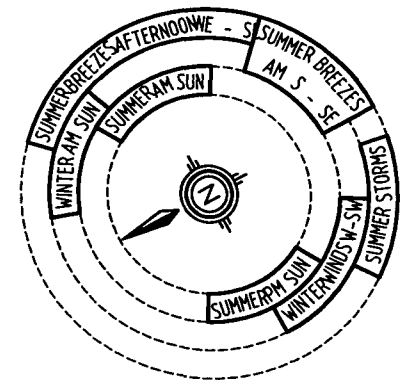
: SMOKE ALARMS TO BE WIRED TO MAINS
POWER AND TO COMPLY WITH AS 3786,
PART 3.7.2. OF THE B.C.A.

TP1 - 100x100 HWD TIMBER POST



PROPOSED GROUND FLOOR PLAN 1:100

FLOOR AREA 131 SQ.M
PORCH/DECK AREA 26 SQ.M



UNITS 7 & 8

SCALE	1:100 (A3)	PROJECT NO.	C7019
	TYPE		TP2
SHEET NO.	15	ISSUE DATE	APR'07
	OF		32

PLANS IN NAME OF:	Mr P. & Mrs I. TORNABENE	PROJECT	PROPOSED DEVELOPMENT		
	AUTHOR		NE	DESIGNED	VH

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MASTER BUILDING DESIGNERS

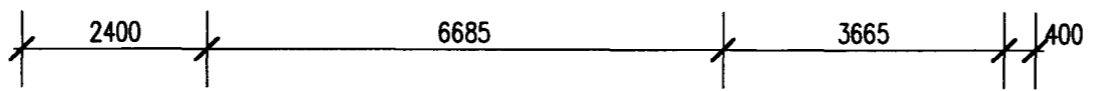
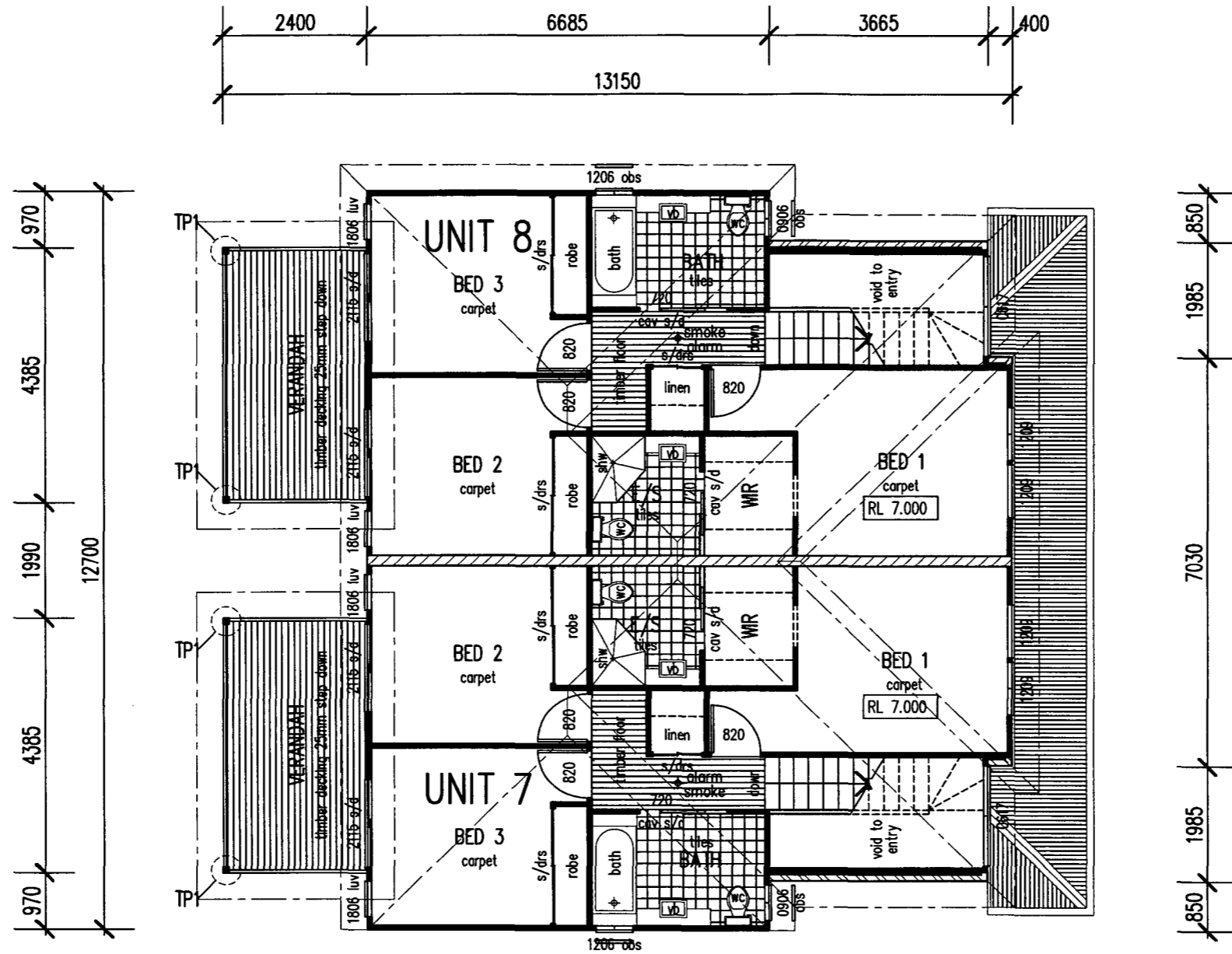
DOW ROYLE AND ASSOCIATES PTY LTD
ABN 15 070 770 948
BUILDING DESIGNERS LICENCE 1019234
UNIT 2A / 87 WEBSTER ROAD STAFFORD
QLD 4053

PHONE: 1 300 308 7777
FAX: 3 356 4499
WEBSITE: WWW.DOWROYLE.COM.AU
EMAIL: VINCE@DOWROYLE.COM.AU

NOTES:

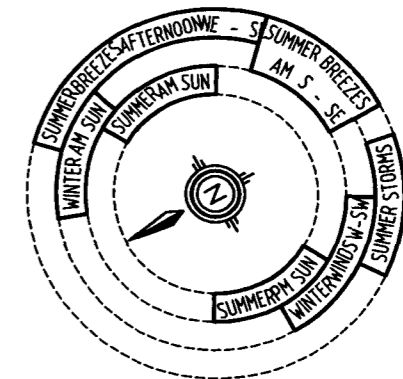
: SMOKE ALARMS TO BE WIRED TO MAINS POWER AND TO COMPLY WITH AS 3786, PART 3.7.2. OF THE B.C.A.

TP1 - 100x100 HWD TIMBER POST



PROPOSED FIRST FLOOR PLAN 1:100

FLOOR AREA 131 SQ.M
VERANDAH AREA 21 SQ.M



UNITS 7 & 8

Dow Royle
MASTER BUILDING DESIGNERS

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UNIT 2A / 87 WEBSTER ROAD STAFFORD
QLD 4053

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PLANS IN NAME OF:
Mr P. & Mrs I. TORNABENE

AUTHOR: **NE** DESIGNED: **VH** CHECKED: **VH** PROJECT: **PROPOSED DEVELOPMENT**

SITE
31 MANN AVE. & 14 ELSON RD.

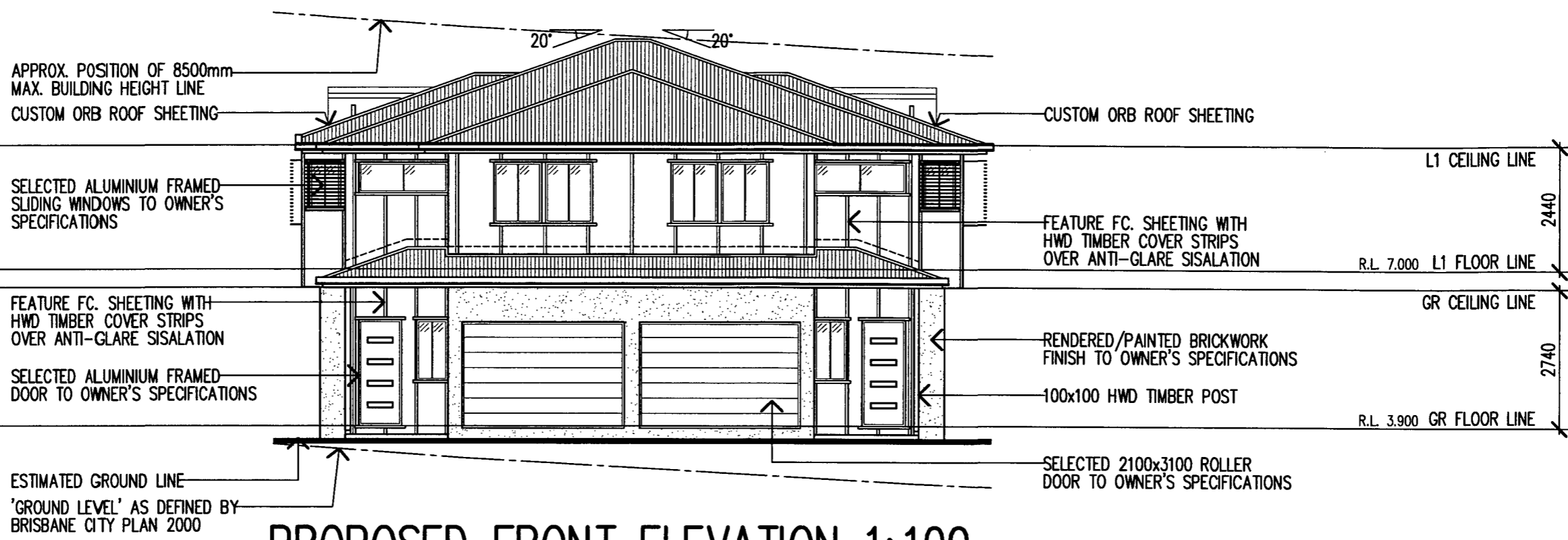
ISSUE DATE: **APR'07** PROJECT NO.: **C7019**

SCALE: **1:100 (A3)**
TYPE: **TP2** SHEET NO.: **16**
ISSUE: OF: **32**

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 ABN 15 070 770 348
 BUILDING DESIGNERS LICENCE 1019234
 UNIT 2A / B7 WEBSTER ROAD STAFFORD
 QLD 4053

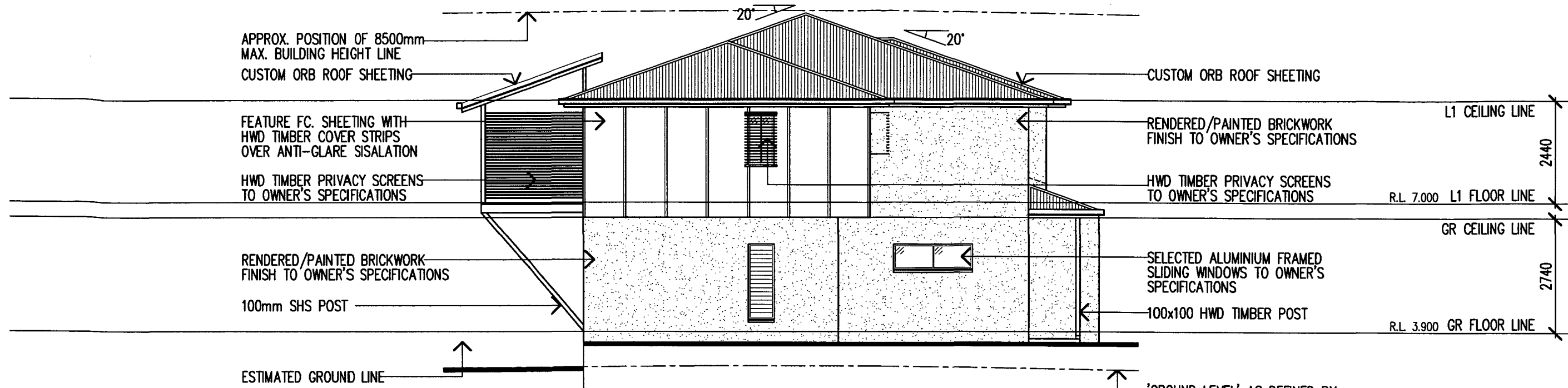


PROPOSED FRONT ELEVATION 1:100

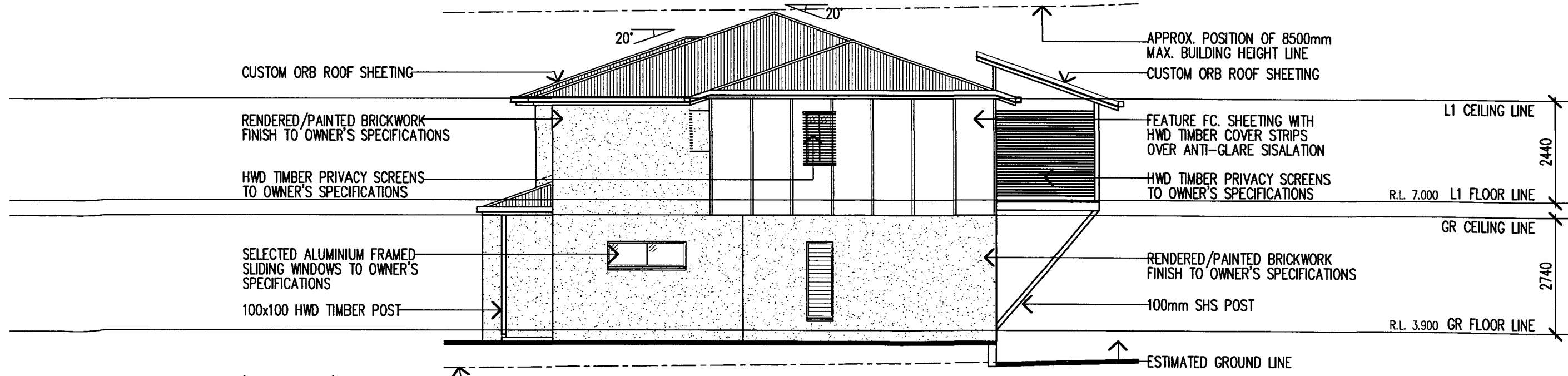


PROPOSED REAR ELEVATION 1:100

UNITS 7 & 8



PROPOSED SIDE ELEVATION 1:100



PROPOSED SIDE ELEVATION 1:100

SCALE	1:100 (A3)
TYPE	TP2
ISSUE	18
SHEET NO.	18
DF	32

SITE	31 MANN AVE. & 14 ELSON RD.
PROJECT NO.	C7019
ISSUE DATE	APR'07

PLANS IN NAME OF:	Mr P. & Mrs I. TORNABENE
AUTHOR	NE
DESIGNED	VH
CHECKED	VH
PROJECT	PROPOSED DEVELOPMENT

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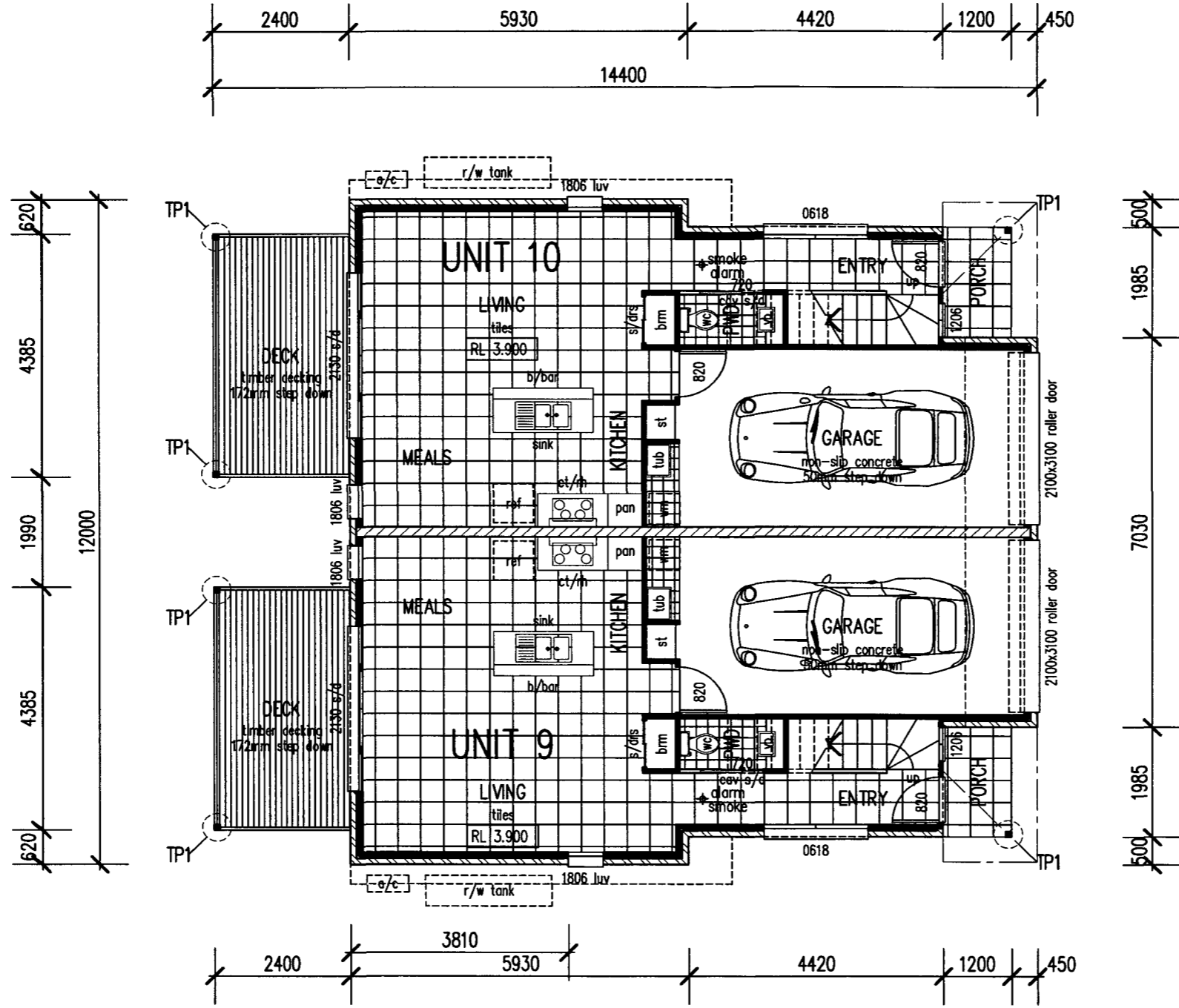
DOWROYLE AND ASSOCIATES PTY LTD
ABN 15 070 770 348
BUILDING DESIGNERS LICENCE 1019234
UNIT 2A / 87 WEBSTER ROAD STAFFORD
QLD 4053

UNITS 7 & 8

NOTES:

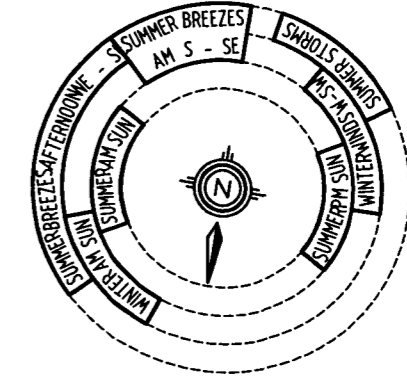
: SMOKE ALARMS TO BE WIRED TO MAINS POWER AND TO COMPLY WITH AS 3786, PART 3.7.2. OF THE B.C.A.

TP1 - 100x100 HWD TIMBER POST



PROPOSED GROUND FLOOR PLAN 1:100

FLOOR AREA 131 SQ.M
PORCH/DECK AREA 26 SQ.M



UNITS 9 & 10

SITE	31 MANN AVE. & 14 ELSON RD.	
	ISSUE DATE	APR'07
PLANS IN NAME OF:	Mr P. & Mrs I. TORNABENE	
	AUTHOR	NE
PROJECT	PROPOSED DEVELOPMENT	
	CHECKED	VH
PROJECT NO.	C7019	
	TYPE	TP2
SCALE	1:100 (A3)	
	ISSUE	DF
SHEET NO.	19	
	OF	32

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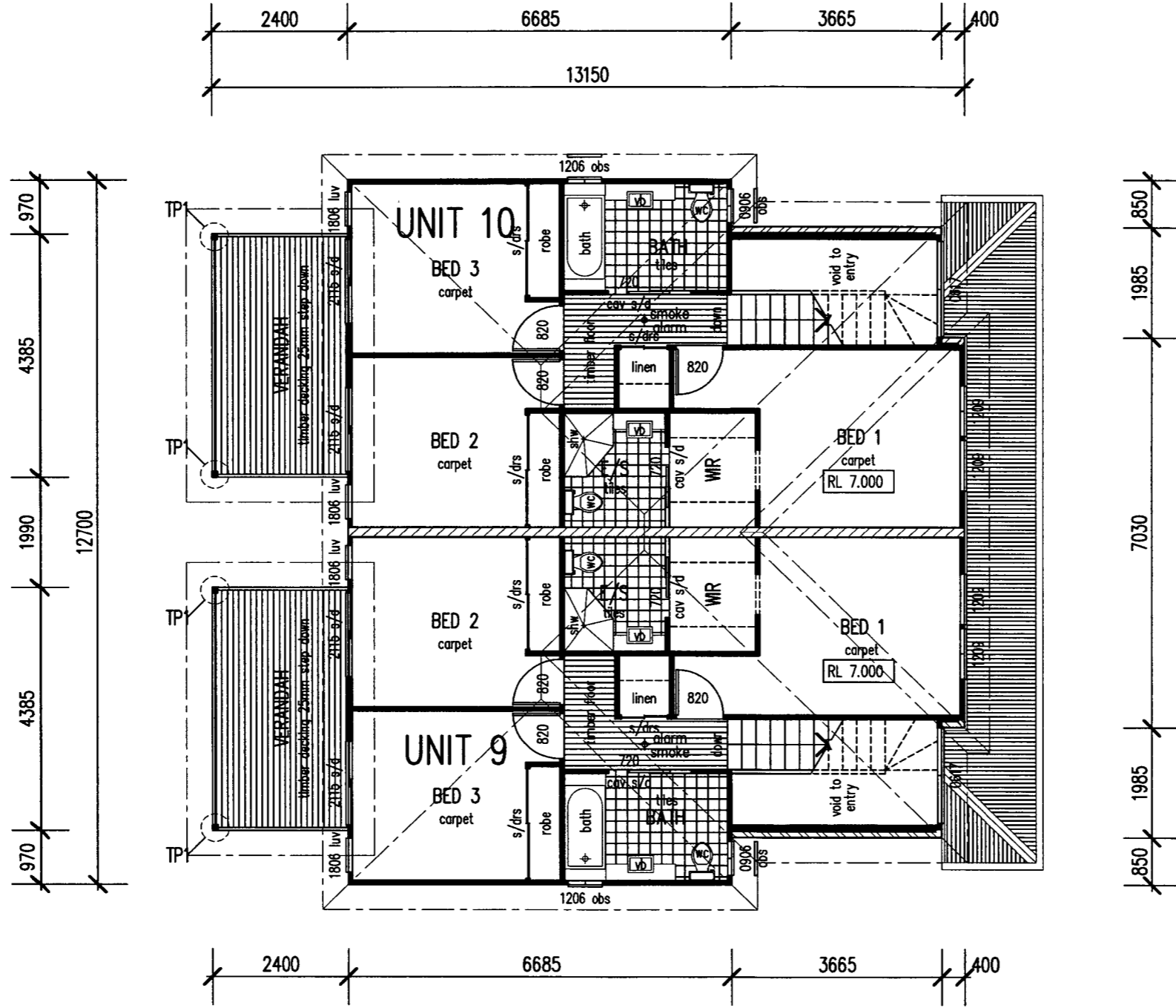
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BUILDING DESIGNERS LICENCE 1019234
UNIT 2A / 87 WEBSTER ROAD STAFFORD
QLD 4053

NOTES:

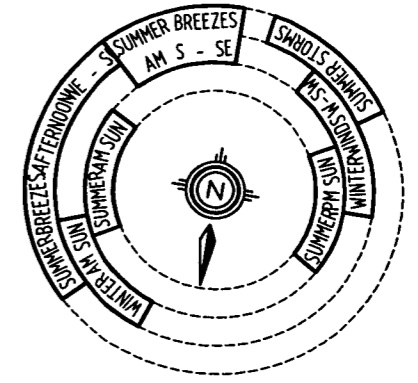
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TP1 - 100x100 HWD TIMBER POST



PROPOSED FIRST FLOOR PLAN 1:100

FLOOR AREA 131 SQ.M
VERANDAH AREA 21 SQ.M



UNITS 9 & 10

SITE 31 MANN AVE. & 14 ELSON RD.	ISSUE DATE	APR'07	PROJECT NO.	C7019
	SCALE	1:100 (A3)	TYPE	TP2
PLANS IN NAME OF: Mr P. & Mrs I. TORNABENE		CHECKED	VH	PROJECT
AUTHOR		NE	VH	PROPOSED DEVELOPMENT
ISSUE DATE		APR'07	PROJECT NO.	C7019
SCALE		1:100 (A3)	TYPE	TP2
SHEET NO.		20	ISSUE	OF 32

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BUILDING DESIGNERS LICENCE 1019234
UNIT 2A / B7 WEBSTER ROAD STAFFORD
QLD 4053

APPROX. POSITION OF 8500mm
 MAX. BUILDING HEIGHT LINE

CUSTOM ORB ROOF SHEETING

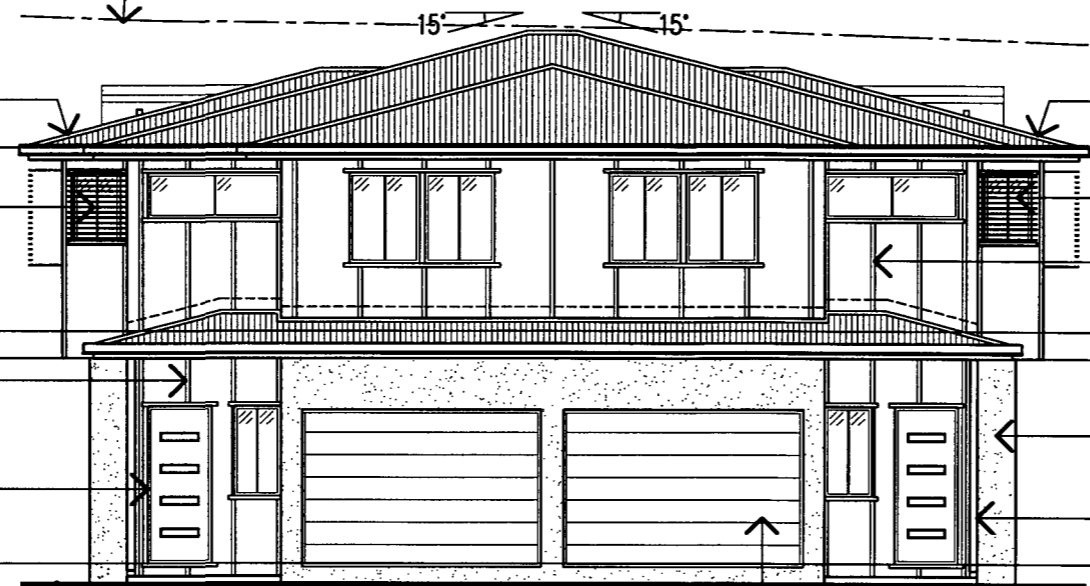
SELECTED ALUMINIUM FRAMED
 SLIDING WINDOWS TO OWNER'S
 SPECIFICATIONS

FEATURE FC. SHEETING WITH
 HWD TIMBER COVER STRIPS
 OVER ANTI-GLARE SISALATION

SELECTED ALUMINIUM FRAMED
 DOOR TO OWNER'S SPECIFICATIONS

ESTIMATED GROUND LINE

'GROUND LEVEL' AS DEFINED BY
 BRISBANE CITY PLAN 2000



CUSTOM ORB ROOF SHEETING

HWD TIMBER PRIVACY SCREENS
 TO OWNER'S SPECIFICATIONS
 FEATURE FC. SHEETING WITH
 HWD TIMBER COVER STRIPS
 OVER ANTI-GLARE SISALATION

RENDERED/PAINTED BRICKWORK
 FINISH TO OWNER'S SPECIFICATIONS

100x100 HWD TIMBER POST

SELECTED 2100x3100 ROLLER
 DOOR TO OWNER'S SPECIFICATIONS

L1 CEILING LINE

2440

R.L. 7.000 L1 FLOOR LINE

GR CEILING LINE

2740

R.L. 3.900 GR FLOOR LINE

PROPOSED FRONT ELEVATION 1:100

APPROX. POSITION OF 8500mm
 MAX. BUILDING HEIGHT LINE

CUSTOM ORB ROOF SHEETING

FEATURE FC. SHEETING WITH
 HWD TIMBER COVER STRIPS
 OVER ANTI-GLARE SISALATION

RENDERED/PAINTED BRICKWORK
 FINISH TO OWNER'S SPECIFICATIONS

100x100 HWD TIMBER POST

1010mm HIGH SELECTED HANDRAIL



CUSTOM ORB ROOF SHEETING

SELECTED ALUMINIUM FRAMED
 SLIDING DOOR TO OWNER'S
 SPECIFICATIONS

1010mm HIGH SELECTED HANDRAIL

RENDERED/PAINTED BRICKWORK
 FINISH TO OWNER'S SPECIFICATIONS

100x100 HWD TIMBER POST

1010mm HIGH SELECTED HANDRAIL

L1 CEILING LINE

2440

R.L. 7.000 L1 FLOOR LINE

GR CEILING LINE

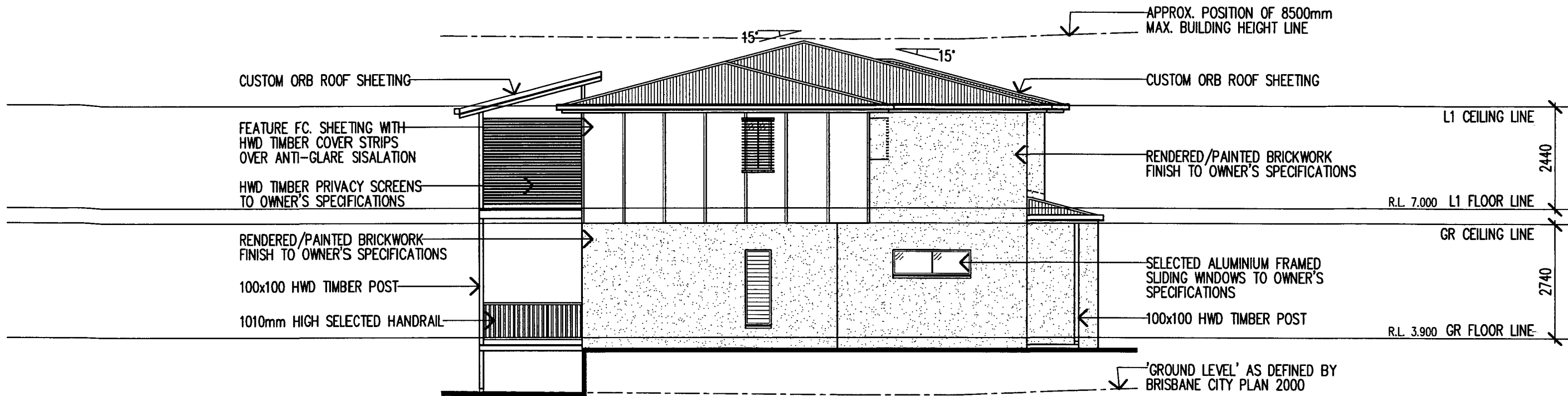
2740

R.L. 3.900 GR FLOOR LINE

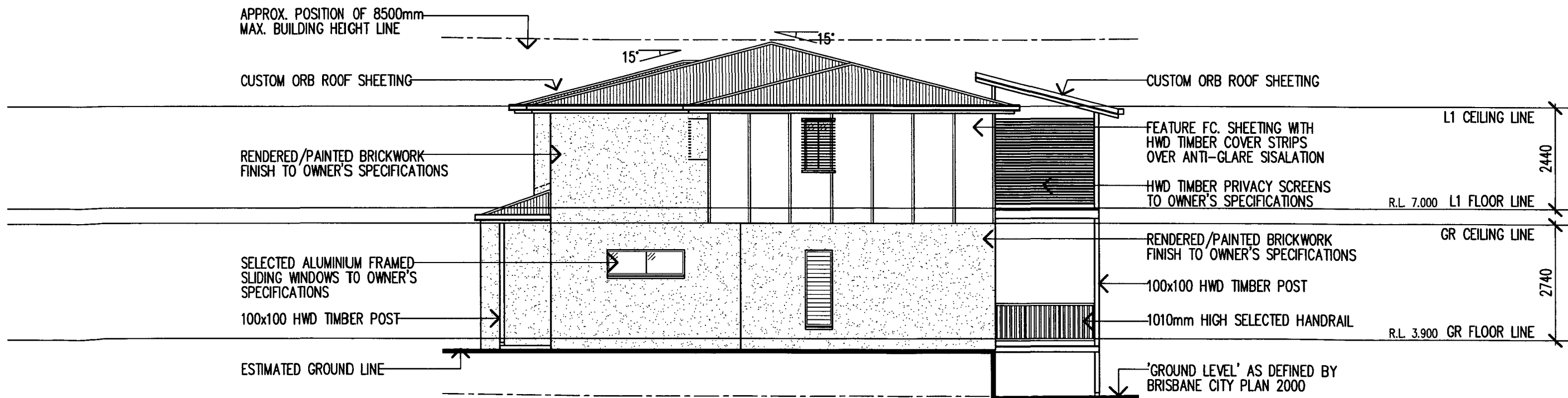
PROPOSED REAR ELEVATION 1:100

'GROUND LEVEL' AS DEFINED BY
 BRISBANE CITY PLAN 2000

UNITS 9 & 10



PROPOSED SIDE ELEVATION 1:100



PROPOSED SIDE ELEVATION 1:100

SCALE 1:100 (A3)	SHEET NO.	22
	TYPE	TP2
PROJECT NO. C7019	ISSUE	OF 32
	ISSUE DATE	APR'07

PLANS IN NAME OF :
Mr P. & Mrs I. TORNABENE

SITE
31 MANN AVE. & 14 ELSON RD.

PROJECT
PROPOSED DEVELOPMENT

AUTHOR
NE

DESIGNED
VH

CHECKED
VH

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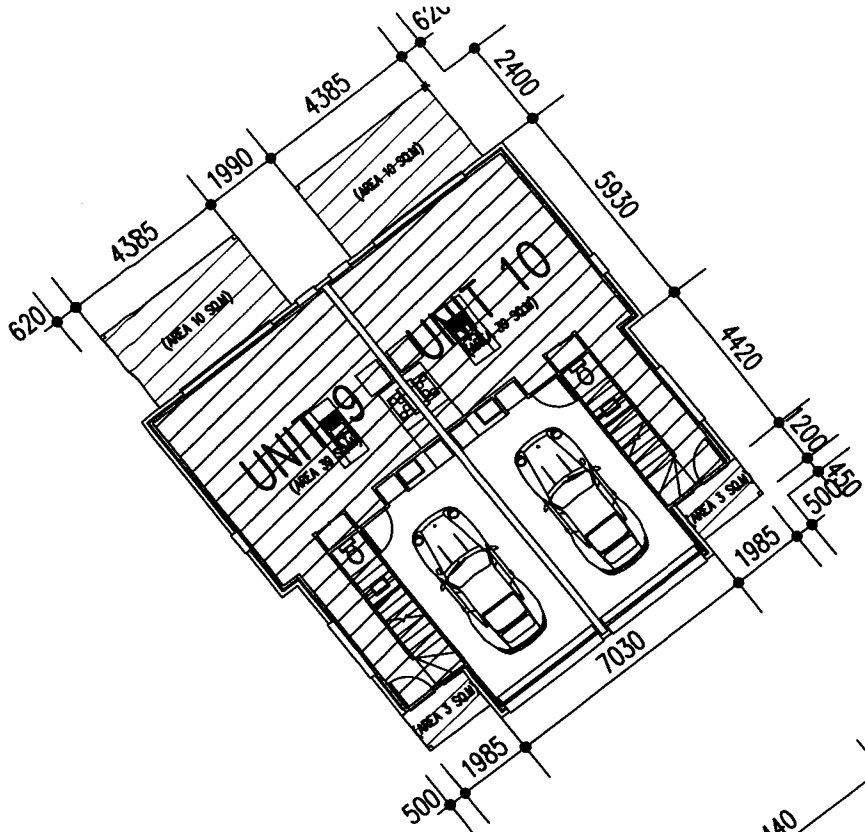
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1300 308 777
3356 4499
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VINGE@DOWROYLE.COM.AU

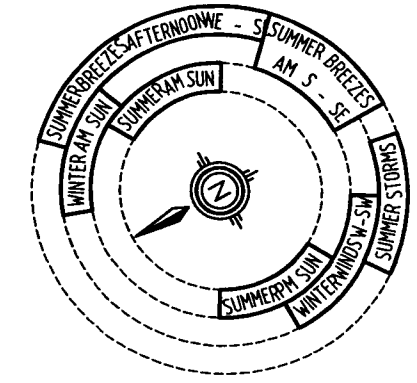
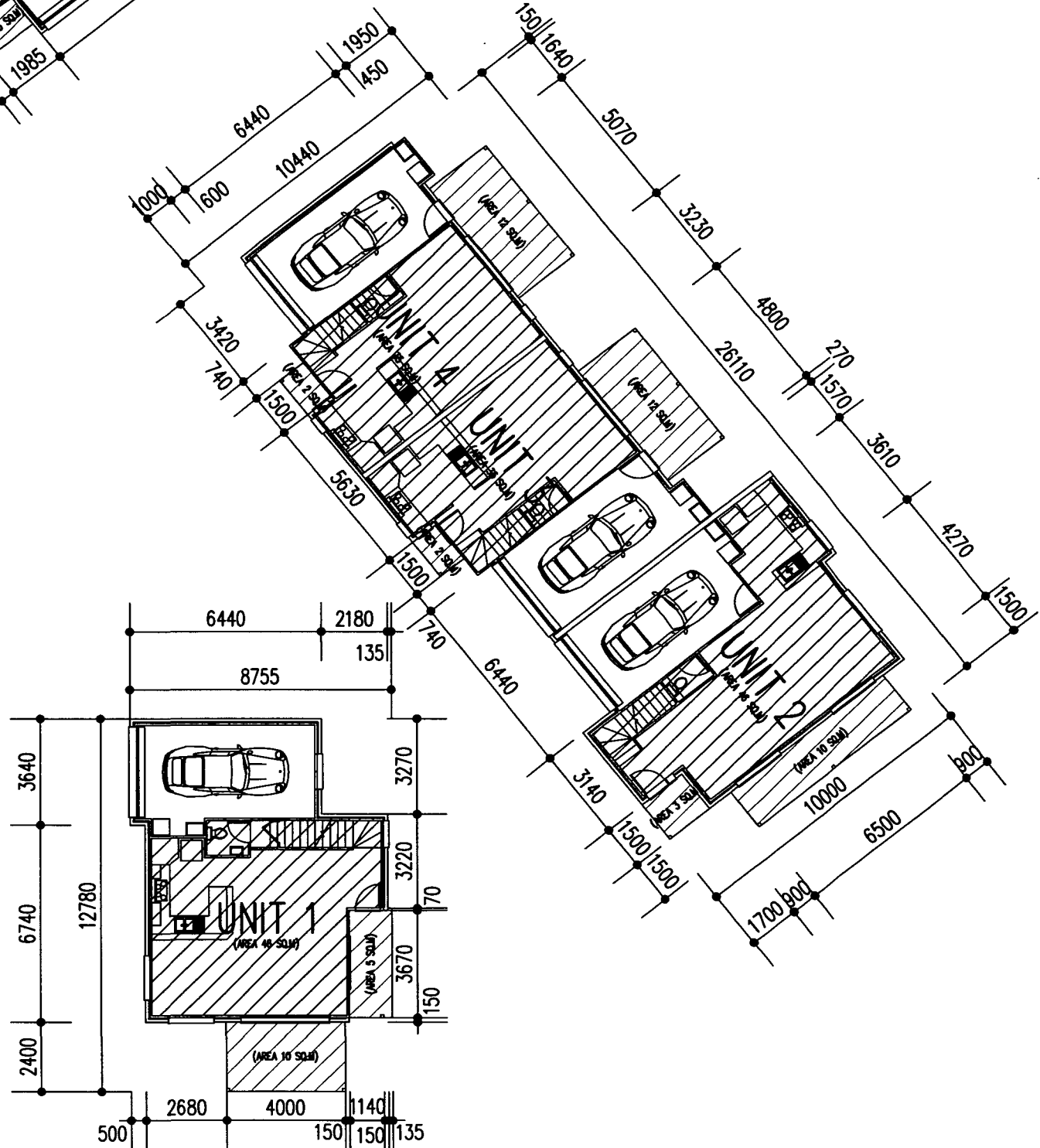
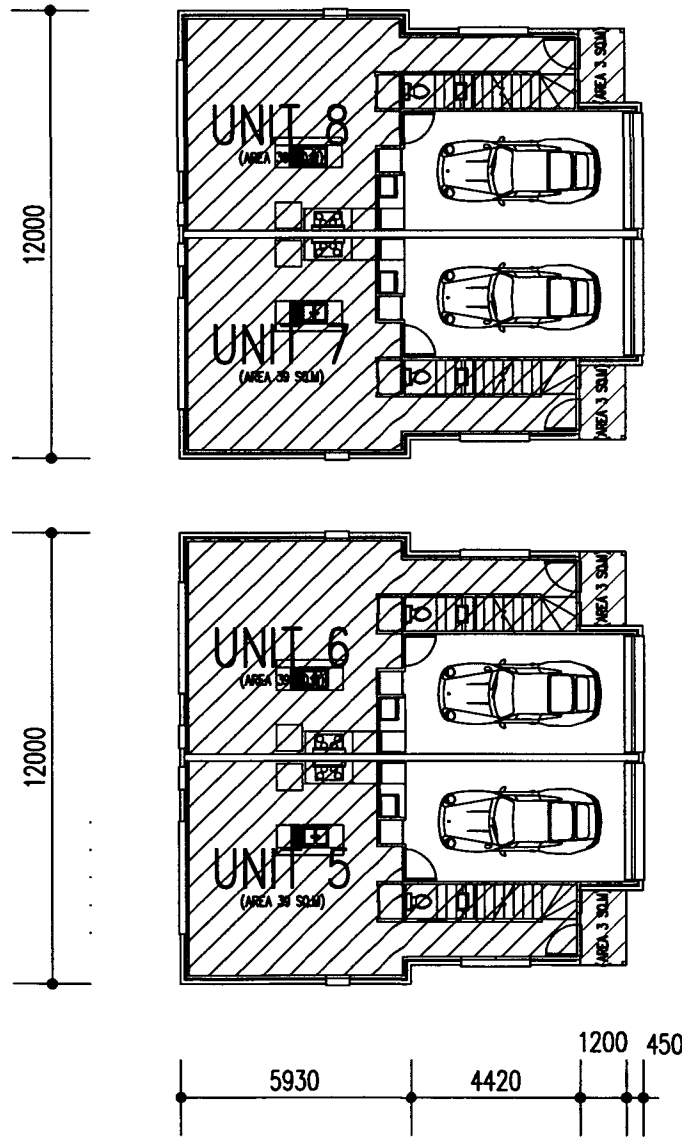
UNITS 9 & 10



G.F.A CALCULATIONS GROUND FLOOR PLAN AND PATIO/PORCH CALCULATIONS 1:200

GROUND FLOOR PLAN
TOTAL G.F.A AREA = 396 SQ.M

GROUND FLOOR PLAN
TOTAL PATIO AREA = 134 SQ.M



SITE 31 MANN AVE. & 14 ELSON RD.	SCALE 1:200 (A3)	SHEET NO. 23	OF 32
	TYPE TP2	PROJECT NO. C7019	
	ISSUE DATE APR'07		

PLANS IN NAME OF: Mr P. & Mrs I. TORNABENE	AUTHOR NE	DESIGNED VH	CHECKED VH	PROJECT PROPOSED DEVELOPMENT

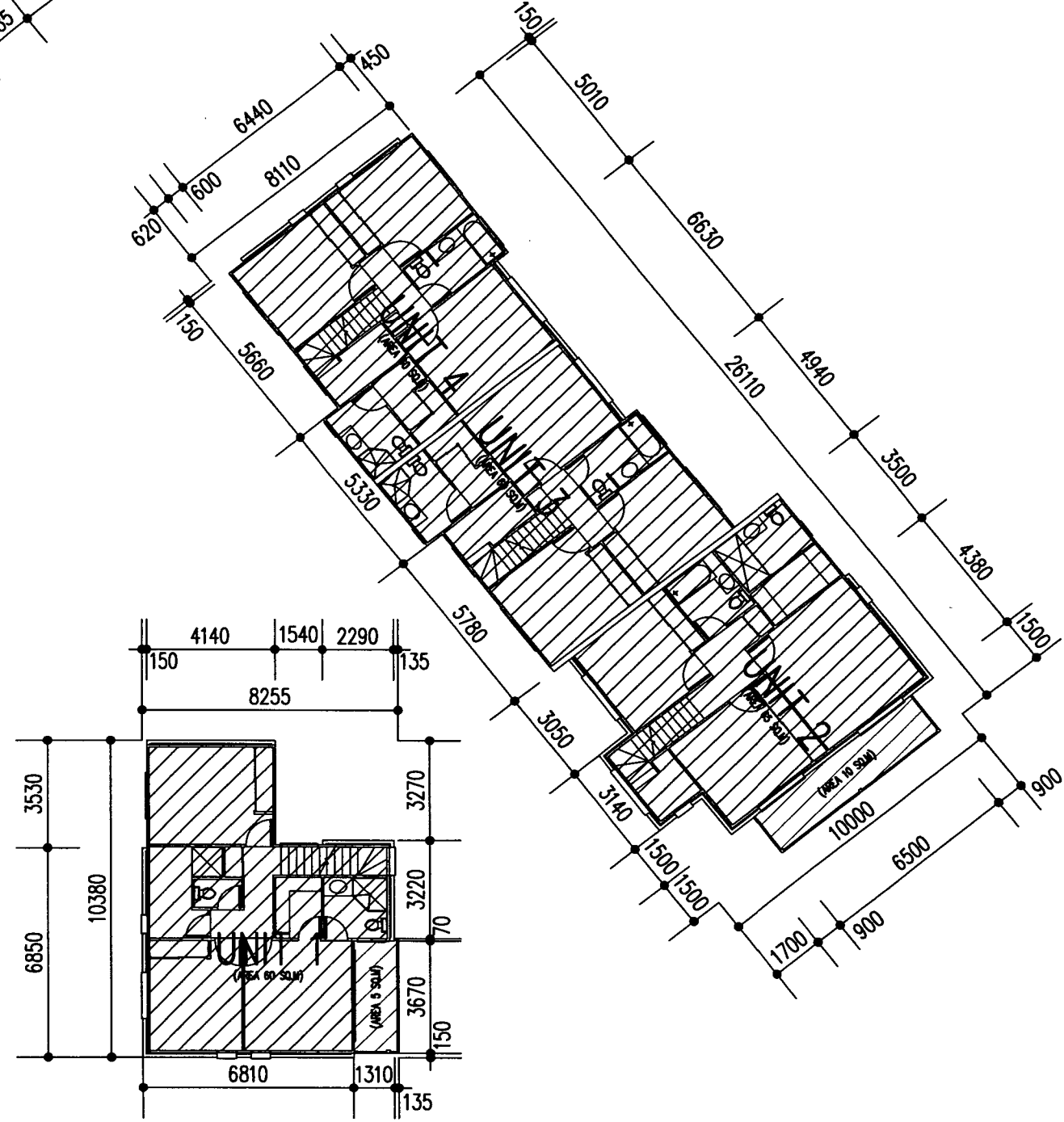
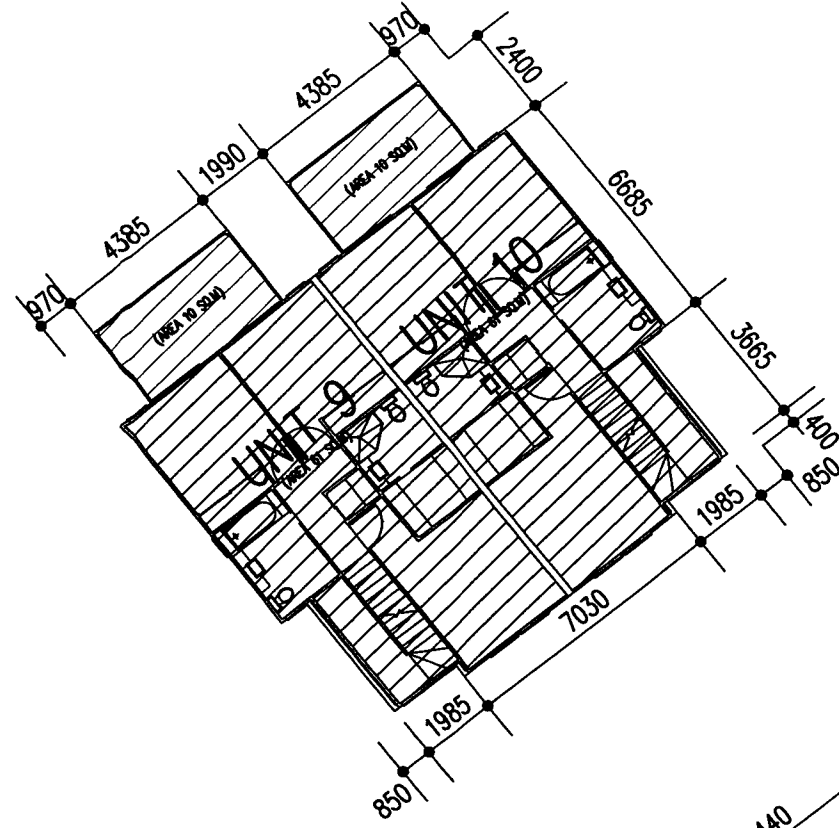
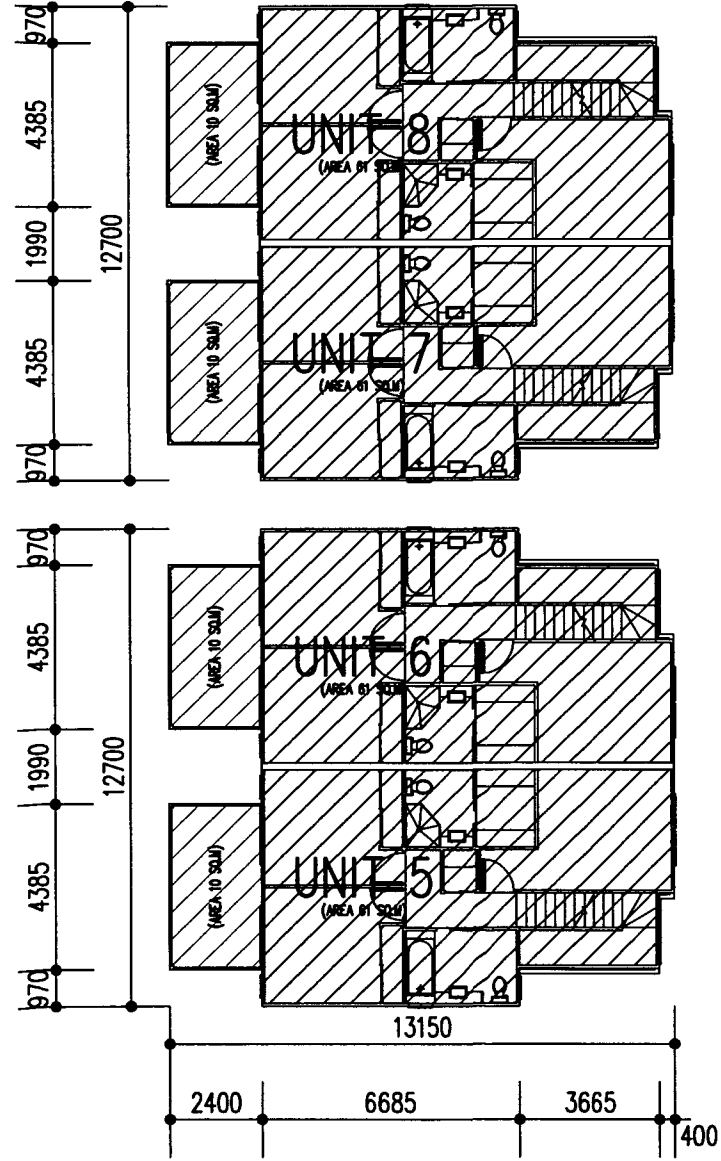
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ABN 15 070 770 948
BUILDING DESIGNERS LICENCE 1019234
UNIT 2A / B7 WEBSTER ROAD STAFFORD
QLD 4053

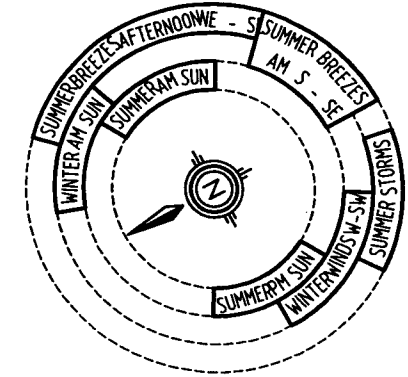
PHONE: 1300 308 777
FAX: 3356 4499
WEBSITE: WWW.DOWROYLE.COM.AU
EMAIL: VINCE@DOWROYLE.COM.AU



G.F.A CALCULATIONS FIRST FLOOR PLAN AND VERANDAH/DECK CALCULATIONS 1:200

FIRST FLOOR PLAN
TOTAL G.F.A AREA = 611 SQ.M

FIRST FLOOR PLAN
TOTAL PATIO AREA = 75 SQ.M



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BUILDING DESIGNERS LICENCE 1019234
UNIT 2A / 87 WEBSTER ROAD STAFFORD
QLD 4053

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PLANS IN NAME OF :
Mr P. & Mrs I. TORNABENE

AUTHOR	DESIGNED	CHECKED	PROJECT
NE	VH	VH	PROPOSED DEVELOPMENT

SITE
**31 MANN AVE. &
14 ELSON RD.**

ISSUE DATE	PROJECT NO.
APR'07	C7019

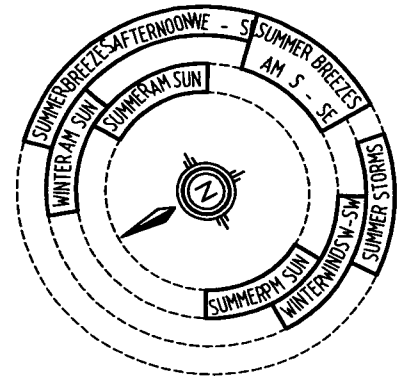
SCALE	TYPE	SHEET NO.
1:200 (A3)	TP2	24
	ISSUE	OF
		32

LANDSCAPE AND RETAINING WALL PLAN 1:400



NOTES:

- : CONTOURS AND R.L.'S AS SUPPLIED BY CLIENT FROM DETAIL AND CONTOUR PLAN BY URBAN & RURAL JOB REFERENCE No. 1566#001
- : FINISHED FLOOR LEVELS (F.F.L) ARE APPROX. ONLY AND TO BE CONFIRMED ON SITE
- : FOR PATHS, PLANTINGS AND IRRIGATION REFER TO LANDSCAPE PLAN BY OTHERS.



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UNIT 2A / 87 WEBSTER ROAD STAFFORD
QLD 4053

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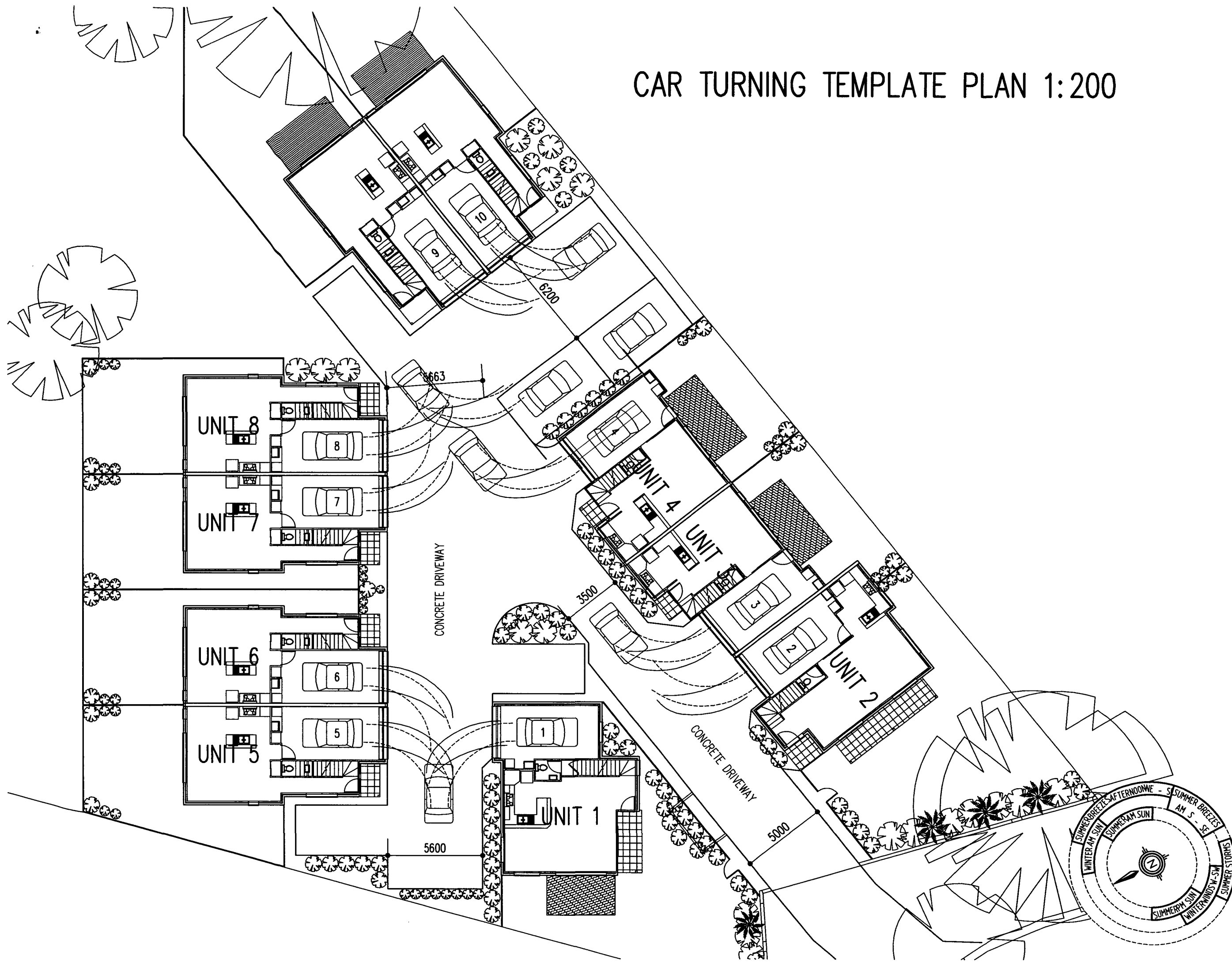


PLANS IN NAME OF:	Mr P. & Mrs I. TORNABENE
AUTHOR	NE
DESIGNED	VH
CHECKED	VH
PROJECT	PROPOSED DEVELOPMENT

SITE	31 MANN AVE. & 14 ELSON RD.
ISSUE DATE	APR'07
PROJECT NO.	C7019

SCALE	1:400 (A3)
TYPE	TP2
ISSUE	25
SHEET NO.	25
OF	32

CAR TURNING TEMPLATE PLAN 1:200



SCALE 1:200 (A3)	TYPE	SHEET NO.
	TP2	26
SITE 31 MANN AVE. & 14 ELSON RD.	PROJECT NO.	OF
	C7019	32
ISSUE DATE	ISSUE	
APR'07		

PLANS IN NAME OF: Mr P. & Mrs I. TORNABENE	CHECKED	PROJECT
		PROPOSED DEVELOPMENT
AUTHOR	DESIGNED	
NE	VH	
	VH	

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ABN 15 070 770 348
BUILDING DESIGNERS LICENCE 1019234
UNIT 2A / B7 WEBSTER ROAD STAFFORD
QLD 4053

APPROX. POSITION OF 8500mm
MAX. BUILDING HEIGHT LINE

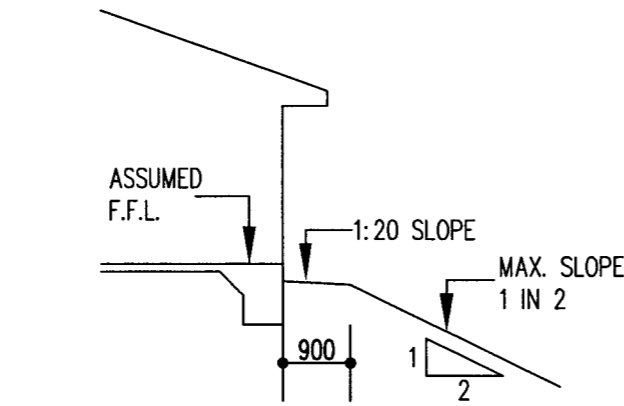


SITE CROSS SECTION 1:200

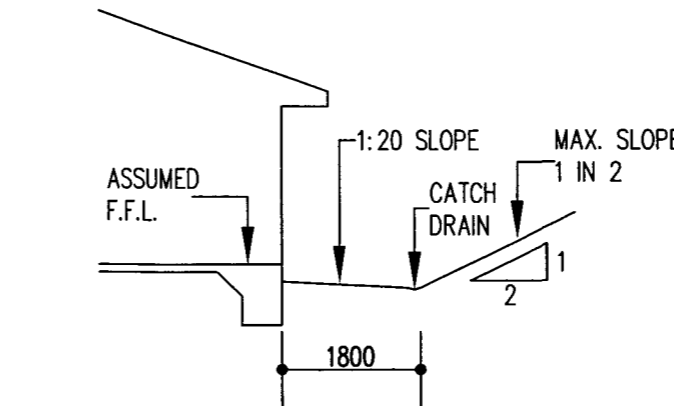
COMPACTED ROAD BASE
FILL UNDER SLAB

'GROUND LEVEL' AS DEFINED BY
BRISBANE CITY PLAN 2000

Flood Regulation Line



FILL FOR BUILDING PLATFORM



CUT FOR BUILDING PLATFORM

SITE

31 MANN AVE. &
14 ELSON RD.

ISSUE DATE
APR'07

PROJECT NO.
C7019

SCALE	1:200 (A3)	
TYPE	TP2	SHEET NO. 28
ISSUE	DF	OF 32

PLANS IN NAME OF:
Mr P. & Mrs I. TORNABENE

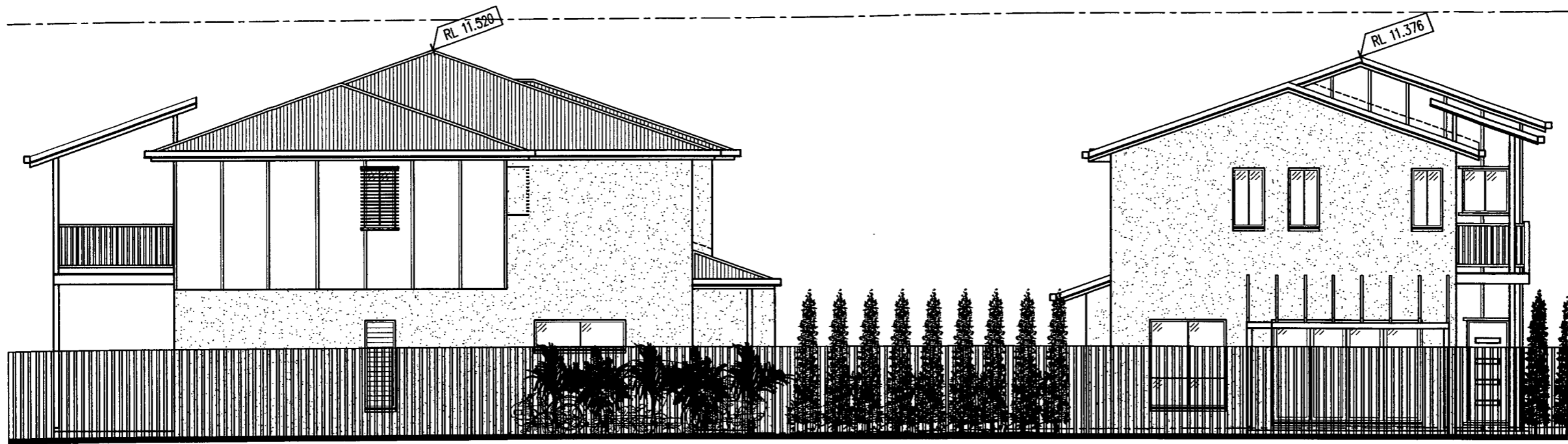
AUTHOR	DESIGNED	CHECKED	PROJECT
NE	VH	VH	PROPOSED DEVELOPMENT



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NORTH-WESTERN SIDE ELEVATION 1:100



NORTH EASTERN SIDE ELEVATION 1:100

SITE
31 MANN AVE. &
14 ELSON RD.

PLANS IN NAME OF:
Mr P. & Mrs I. TORNABENE

ISSUE DATE

PROJECT NO.

APR'07

C7019

AUTHOR
NE

DESIGNED
VH

CHECKED
VH

PROJECT
PROPOSED
DEVELOPMENT

SCALE
1:200 (A3)

TYPE
TP2

ISSUE
29

SHEET NO.
29

OF
32

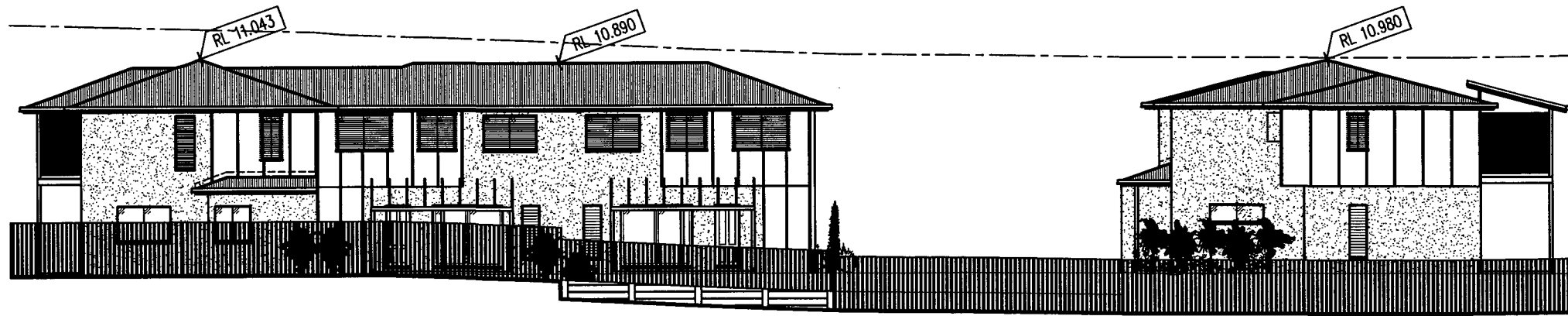
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DOWROYLE AND ASSOCIATES PTY LTD
ABN 15 070 770 348
BUILDING DESIGNERS LICENCE 1019234
UNIT 2A / B7 WEBSTER ROAD STAFFORD
QLD 4053



SOUTHERN SIDE ELEVATION 1:200



SOUTH-EASTERN SIDE ELEVATION 1:100

PLANS IN NAME OF:	SITE	ISSUE DATE	PROJECT NO.	SCALE	SHEET NO.
				1:200 (A3)	30
Mr P. & Mrs I. TORNABENE	31 MANN AVE. & 14 ELSON RD.	APR'07	C7019	TYPE	OF
				TP2	32
				ISSUE	

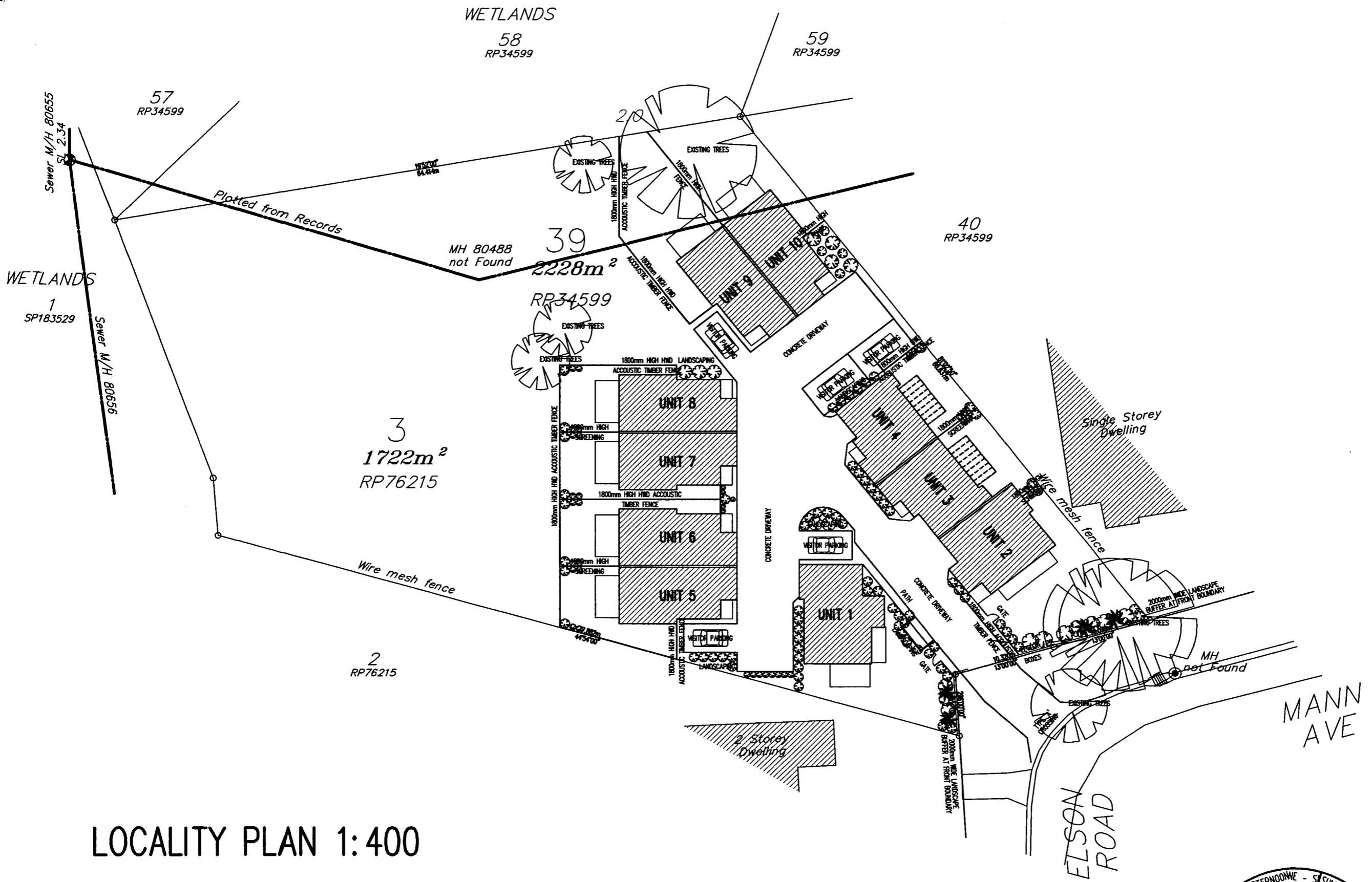
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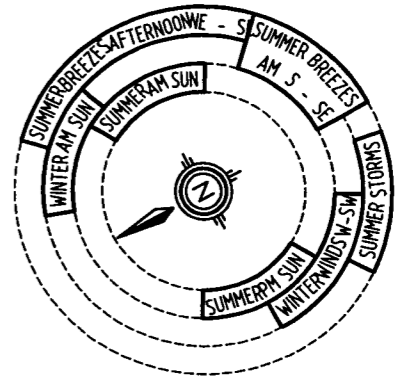
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LOCALITY PLAN 1: 400



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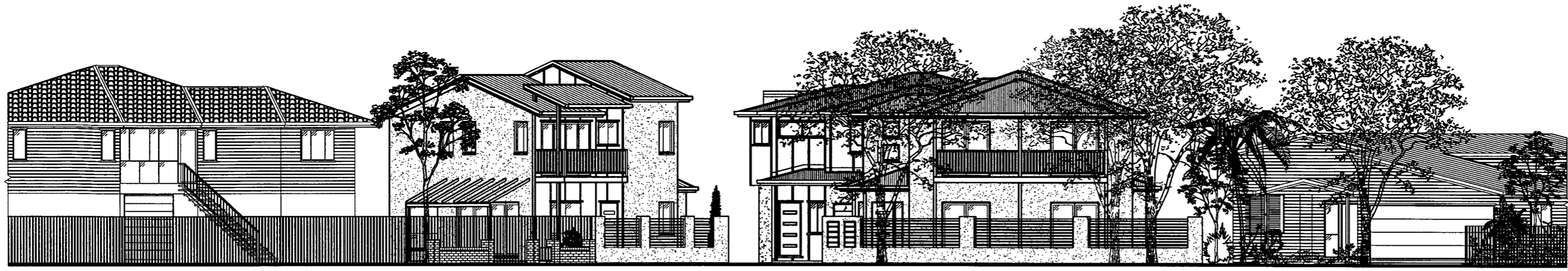
PLANS IN NAME OF:
Mr P. & Mrs I. TORNABENE

AUTHOR **NE** DESIGNED **VH** CHECKED **VH** PROJECT **PROPOSED DEVELOPMENT**

SITE
**31 MANN AVE. &
 14 ELSON RD.**

ISSUE DATE **APR'07** PROJECT NO. **C7019**

SCALE **1:100 (A3)**
 TYPE **TP2** SHEET NO. **31**
 ISSUE **OF** **32**



No. 12 ELSON ROAD

No. 14 ELSON ROAD

No. 31 MANN AVENUE

No. 29 MANN AVENUE

CORNER MANN AVE. & ELSON RD. (STREET ELEVATION N.T.S)

PLANS IN NAME OF:	31 MANN AVE. & 14 ELSON RD.		SCALE	N.T.S (A3)
	Mr P. & Mrs I. TORNABENE		TYPE	TP2
AUTHOR	DESIGNED	CHECKED	PROJECT NO.	ISSUE DATE
NE	VH	VH	C7019	APR'07
PROJECT			ISSUE	SHEET NO.
PROPOSED DEVELOPMENT			TP2	32
			OF	32

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Use figured dimensions. DO NOT SCALE.
Check all dimensions on site before fabrication or set out.

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